

The City of Snellville
2342 Oak Road
Snellville, Georgia 30078
(770) 985-3500 • FAX (770) 985-3525



AGENDA

WORK SESSION
OF MAYOR AND COUNCIL
CITY OF SNELLVILLE, GEORGIA
MONDAY, APRIL 28, 2025

Publication Date: April 24, 2025

TIME: 6:30 p.m.

DATE: April 28, 2025

PLACE: City Hall Conference Room 145

I. CALL TO ORDER

II. REVIEW REGULAR BUSINESS MEETING AND PUBLIC HEARING AGENDA ITEMS

III. REVIEW CORRESPONDENCE

IV. CITY ATTORNEY'S REPORT

V. DISCUSSION ITEMS

- a) Update of Ongoing Projects [Bender]
- b) Discussion About Stormwater Detention Ponds [Warner]

VI. EXECUTIVE SESSION

An Executive Session may be called:

- To discuss pending and/or potential litigation, settlement claims, administrative proceedings or other judicial actions, which is exempt from the Open Meetings Act pursuant to O.C.G.A. Section 50-14-2(1).
- To authorize negotiations to purchase, dispose of, or lease property; authorize the ordering of an appraisal related to the acquisition or disposal of real estate; enter into a contract to purchase, dispose of, or lease property subject to approval in a subsequent public vote; or enter into an option to purchase, dispose of, or lease real estate subject to approval in subsequent public vote, which is excluded from the Open Meetings Act pursuant to Section 50-14-3(b)(1)(C).
- Upon the appointment, employment, compensation, hiring, disciplinary action or dismissal, or periodic evaluation or rating of a public officer or employee, which is excluded pursuant to O.C.G.A. Section 50-14-3(b)(2).

VII. ADJOURNMENT



AGENDA

PUBLIC HEARING & REGULAR BUSINESS MEETING
OF MAYOR AND COUNCIL
CITY OF SNELLVILLE, GEORGIA
MONDAY, APRIL 28, 2025

Publication Date: April 24, 2025

TIME: 7:30 p.m.

DATE: April 28, 2025

PLACE: Council Chambers

I. CALL TO ORDER

II. INVOCATION

III. PLEDGE TO THE FLAG

IV. CEREMONIAL MATTERS

PRO 2025-10 – In Honor of the Gwinnett Chapter of the National Society Sons of the American Revolution

V. MINUTES

Approve the Minutes of the April 14, 2025 Meetings

VI. INVITED GUESTS

VII. COMMITTEE / DEPARTMENT REPORTS

VIII. APPROVAL OF THE AGENDA

IX. PUBLIC HEARING

- a) 2nd Reading - RZ 25-03 LUP 25-01 – Consideration and Action on applications by The Revive Land Group, LLC (applicant) and Chris Dusik (property owner) and Soren S. Thomas Living Trust (property owner) requesting: a) to amend the Snellville 2045 Future Land Use Map from Residential –Low Density to Residential –Medium Density; b) to amend the Official Zoning Map from RS-30 (Single-family Residential) District to RX (Mixed Residential) District; and c) variance from UDO Sec. 201-1.6(D)(1) to increase the front yard area used for driveways from 35% to 67% for townhomes and 40% for single-family detached homes. The proposed project is for a single-family residential community consisting of 28 single-family

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(detached) homes and 42 single-family (attached) townhomes on a 15.149± acre site with a gross density of 4.62 units per acre, 2587 and 2597 Lenora Church Road, Snellville, Georgia (Tax Parcels 5027 001 and 5027 001E)

X. CONSENT AGENDA (Please see *Note)

XI. OLD BUSINESS

- a) RZ 24-04 LUP 24-02 – Consideration and Action on applications by KJ Luxury Homes, LLC (applicant) and Summit Chase Country Club, Inc. (property owner) requesting: a) to amend the Snellville 2045 Future Land Use Map from Park/Residential to Residential –Low Density; and, b) amend the Official Zoning Map from RS-30 (Single-family Residential) District to RS-5 (Single-family Residential) District for a 150-lot single-family detached subdivision and 19.66± acres of open space including country club style tennis courts, swimming pool, clubhouse and other amenities for residents to enjoy on a 95.386± acre vacant, unused golf course and country club site with a gross density of 1.57 lots per acre, situated along Green Turf Drive and Classic Drive, 3197 Classic Drive, Snellville, Georgia (Tax Parcel 5093 106)

XII. NEW BUSINESS

- a) Consideration and Action on Surplus of City Police Facilities Equipment [Bender]

XIII. COUNCIL REPORTS

XIV. MAYOR'S REPORT

XV. PUBLIC COMMENTS

- Section 2-53
Each member of the public who wishes to address the Mayor and City Council in public session must submit their name, address and the topic (be as specific as possible) of their comments to the City Clerk prior to making such comments. Individuals will be allotted five minutes to make their comments and such comments must be limited to the chosen topic. Members of the public shall not make inappropriate or offensive comments at a City Council meeting and are expected to comply with our adopted rules of decorum.
- Decorum
You must conduct yourself in a professional and respectful manner. All remarks should be directed to the Chairman and not to individual Council Members, staff or citizens in attendance. Personal remarks are inappropriate.

XVI. EXECUTIVE SESSION

An Executive Session may be called:

- To discuss pending and/or potential litigation, settlement claims, administrative proceedings or other judicial actions, which is exempt from the Open Meetings Act pursuant to O.C.G.A. Section 50-14-2(1).

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- To authorize negotiations to purchase, dispose of, or lease property; authorize the ordering of an appraisal related to the acquisition or disposal of real estate; enter into a contract to purchase, dispose of, or lease property subject to approval in a subsequent public vote; or enter into an option to purchase, dispose of, or lease real estate subject to approval in subsequent public vote, which is excluded from the Open Meetings Act pursuant to Section 50-14-3(b)(1)(C).
- Upon the appointment, employment, compensation, hiring, disciplinary action or dismissal, or periodic evaluation or rating of a public officer or employee, which is excluded pursuant to O.C.G.A. Section 50-14-3(b)(2).

XVII. ADJOURNMENT

***Note: Items on the Consent Agenda may be read by title only. Upon the request of any Council Member, any item may be removed from the Consent Agenda and placed on the Regular Agenda prior to the adoption of the Regular Agenda. The Consent Agenda, or the remainder thereof omitting the challenged items, shall be adopted by unanimous consent.**

**CITY OF SNELLVILLE
MEETINGS AND LOCAL EVENTS
APRIL 28, 2025**

April 28

Council Meeting

Monday, April 28, 2025

6:30 p.m. Work Session – Conference Room 145, City Hall

7:30 pm Meeting - Council Chambers, City Hall

May 2

Food Truck Friday

Friday, May 2, 2025

4:00 pm to 8:00 pm – Towne Green

May 4

Broadcast of April 28, 2025 Council Meeting

Sunday, May 4, 2025

Watch the broadcast on Comcast Channel 25 at 6:30 pm

May 10

Beach Blast

Saturday, May 10, 2025

Noon to 5:00 pm

Towne Green

May 12

Council Meeting

Monday, May 12, 2025

6:30 p.m. Work Session – Conference Room 145, City Hall

7:30 pm Meeting - Council Chambers, City Hall

May 18

Broadcast of May 12, 2025 Council Meeting

Sunday, May 18, 2025

Watch the broadcast on Comcast Channel 25 at 6:30 pm

May 21

Downtown Development Authority Meeting

Wednesday, May 21, 2025

4:30 p.m. – 2nd Floor Conference Room 259

May 22

Parks & Recreation – Youth Kickball Starts

Thursday, May 22, 2025

TW Briscoe Park – 6 p.m. until 9 p.m.

May 23

Pool Opens @ Briscoe Park

Friday, May 23, 2025

Noon – Briscoe Park

May 24

Memorial Celebration - STAT

Saturday, May 24, 2025

4:30 pm to 6:00 pm

Towne Green

May 26

Memorial Day Holiday Observed

Monday, May 26, 2025

City Offices and the Recycling Center will be closed. Trash and Recycling pickup will operate as usual. Emergency Services will operate as usual.

May 26

Council Meeting –CANCELED/RESCHEDULED to May 27th

Monday, May 26, 2025

6:30 pm Work Session – Conference Room 145, City Hall

7:30 pm Meeting - Council Chambers, City Hall

May 27

Special Called Work Session and Meeting of Mayor and Council

Tuesday, May 27, 2025

6:30 pm Work Session – Conference Room 145, City Hall

7:30 pm Meeting - Council Chambers, City Hall



CITY OF SNELLVILLE

Proclamation

PRO 2025-10

In Honor And Recognition Of The Button Gwinnett Chapter NSSAR

WHEREAS, The National Society Sons of the American Revolution honors our Revolutionary War patriot ancestors by promoting patriotism, serving our communities, and educating and inspiring future generations about the founding principles of our Country.

WHEREAS, The Button Gwinnett Chapter was chartered 26 years ago in Lawrenceville, Georgia in April of 1999 as part of the Georgia Society Sons of the American Revolution which was formed 104 years ago in March 1921 and National Society Sons of the American Revolution which was formed 136 years ago in April 1889.

WHEREAS, On April 5, 2025 the Button Gwinnett Chapter SAR assembled at the Sawyer-Herndon American Legion Post 232 in Snellville, Georgia for an Early Celebration of the 250th Anniversary of "The Shot Heard Round the World" which took place on April 19, 1775 in Lexington and Concord, Massachusetts.

WHEREAS, The Button Gwinnett Chapter SAR along with the Georgia Society SAR Color Guard, the Georgia Society SAR State President, the Georgia Society DAR State Regent, the Georgia Society C.A.R. State President (Children of the American Revolution) with numerous representatives of the SAR, DAR and C.A.R., American Legion 232 Post Commander and American Legion Auxiliary 232 President recognized Button Gwinnett Charter Members, Past Chapter Presidents, Military and War Service Medal Recipients, inducted a new member and presented numerous other medals and certificates to those in attendance before the Militia fired a three round musket volley marking the end of the celebration.

THEREFORE, I, Barbara Bender, Mayor of the City of Snellville, Georgia, Where Everybody's PROUD to be Somebody, do hereby join with our City Council and the citizens of Snellville recognize the honorable service the Button Gwinnett Chapter NSSAR which has served the Snellville, Gwinnett County and State of Georgia communities for the past 26 years.

Proclaimed this 28th day of April, 2025.



Barbara Bender, Mayor

Tod Warner, Mayor Pro Tem

Norman A. Carter Jr., Council Member

Kerry Hetherington, Council Member

Cristy Lenski, Council Member

ATTEST:

Melisa Arnold, City Clerk

Gretchen Schulz, Council Member



WORK SESSION
OF MAYOR AND COUNCIL
CITY OF SNELLVILLE, GEORGIA
MONDAY, APRIL 14, 2025

Present: Mayor Barbara Bender, Mayor Pro Tem Tod Warner, Council Members Norman A. Carter Jr., Kerry Hetherington, and Cristy Lenski. (Council Member Gretchen Schulz was absent.) Also present City Manager Matthew Pepper, Assistant City Manager Mercy Montgomery, City Attorney Tony Powell with Powell and Crowley, Captain Zach Spahr, Planning and Development Director Jason Thompson, Public Information Officer Brian Arrington, and City Clerk Melisa Arnold.

CALL TO ORDER

Mayor Bender called the meeting to order at 6:35 p.m.

REVIEW REGULAR BUSINESS MEETING AND PUBLIC HEARING AGENDA ITEMS

The agenda was reviewed. Planning Director Thompson reviewed the changes in the site plan for RZ 25-01, Sinocoin Investment.

Mayor Bender reviewed the Intergovernmental agreement with Gwinnett County regarding the sewer expansion project.

Due to her property abutting the property for the development on Lenora Church Road associated with RZ 25-03 LUP 25-01, Council Member Lenski recused herself at 6:48 p.m.

Planning Director Thompson reviewed the application and discussion was held about the site plan.

Council Member Lenski returned at 6:57 p.m.

REVIEW CORRESPONDENCE

None

CITY ATTORNEY'S REPORT

None

DISCUSSION ITEMS

Update of Ongoing Projects [Bender]

City Manager Pepper gave an update on the Towne Center and said that Crooked Can is almost complete and will begin on the build-out of vendor stalls soon. He announced the new Downtown Development Manager will be starting soon and gave updates on the sidewalk project and recycling program.

Planning Director Thompson asked Mayor and Council their thoughts on the Special Event permits for parking lots events and consensus was to keep it as is, events must be related to the businesses.

City of Snellville Administration Department

2342 Oak Road Snellville, GA 30078 770-985-3500 770-985-3525 Fax www.snellville.org

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City Manager Pepper asked Mayor and Council their thoughts on outside events at The Grove. After discussion consensus was to hold off while The Grove still develops and its use and vision is more established.

City Manager Pepper said that Mid-Cast has presented preliminary drawings for the build-out of the 2nd floor of the Market and the estimated cost is \$1 million. They have no one who has committed to operating the space yet. After discussion the consensus was to hold off and revisit the idea in a few months.

EXECUTIVE SESSION

None

ADJOURNMENT

Council Member Hetherington made a motion to adjourn, 2nd by Mayor Pro Tem Warner; voted 5 in favor and 0 opposed, motion approved. The meeting adjourned at 7:22 p.m.

Barbara Bender, Mayor

Melisa Arnold, City Clerk



PUBLIC HEARING & REGULAR BUSINESS MEETING
OF MAYOR AND COUNCIL
CITY OF SNELLVILLE, GEORGIA
MONDAY, APRIL 14, 2025

Present: Mayor Barbara Bender, Mayor Pro Tem Tod Warner, Council Members Norman A. Carter Jr., Kerry Hetherington, and Cristy Lenski. (Council Member Gretchen Schulz was absent.) Also present City Manager Matthew Pepper, Assistant City Manager Mercy Montgomery, City Attorney Tony Powell with Powell and Crowley, Captain Zach Spahr, Planning and Development Director Jason Thompson, Public Information Officer Brian Arrington, IT Administrator Erika Fleeman and City Clerk Melisa Arnold.

CALL TO ORDER

Mayor Bender called the meeting to order at 7:33 p.m.

INVOCATION

Melvin Everson gave the invocation.

PLEDGE TO THE FLAG

City Attorney Powell led the Pledge of Allegiance.

CEREMONIAL MATTERS

PRO 2025-07 – Arbor Day

Mayor Bender read the proclamation into the record.

PRO 2025-09 – Arab American Month

Mayor Bender read the proclamation into the record and presented to Mike Sabbagh and other members of the Arab community.

Snellville Tourism and Trade Presentation

Kelly McAloon, Executive Director for STAT, recognized outgoing board member Melvin Everson for his service.

MINUTES

Approve the Minutes of the March 24, 2025 Meetings

Council Member Lenski made a motion to approve the minutes of the March 24, 2025 meetings, 2nd by Council Member Carter; voted 5 in favor and 0 opposed, motion approved.

INVITED GUESTS

None

COMMITTEE / DEPARTMENT REPORTS

None

APPROVAL OF THE AGENDA

Council Member Lenski made a motion to approve the agenda as presented, 2nd by Mayor Pro Tem Warner; voted 5 in favor and 0 opposed, motion approved.

PUBLIC HEARING

Mayor Bender explained the public hearing procedures.

2nd Reading - RZ 25-01 (ORD 2025-03) – Consideration and Action on Application by Split Silk Properties, LLC, Representing Sinocoin Investment, LLC (property owner) Requesting: A) to Amend the Official Zoning Map From RS-30 (Single-Family Residential) District to R-TH (Townhouse Residential) District; And B) Request for Variances from the Snellville Unified Development Ordinance for a 67-Unit Single-Family (Attached) Townhome Development On A 17.44 +/- Acre Site with a Density of 3.84 Units Per Acre, Located Near the Intersection of U.S. Highway 78 (Athens Highway) and Rosebud Road, 3,000 Block Rosebud Road, Snellville, Georgia (Tax Parcel R5100 023)

Planning Director Thompson gave an overview of the application and explained the differences between the site plan dated 1-30-2025 and the one referenced in the ordinance for adoption dated 2-17-2025. He stated that the Planning Commission and Planning Department both recommend approval with requested variances and conditions:

Variances:

- A. UDO Sec. 202-6.7. (Building Setbacks): To reduce the 10-foot minimum front yard building setback to 8-feet.
- B. UDO Sec. 401-5.10.b. (Residential Curbing): To allow roll-back curbing in lieu of vertical curbing within the proposed townhome development on Lots 14-19. A 2.5-foot wide planter is required between the roll-back curbing and sidewalk.
- C. UDO Table 401-4.2. (Streetscape Table): To reduce the 5-foot minimum planter width to 2.5-foot between the sidewalk and (internal) streets.

Conditions:

1. The property shall be developed in general accordance with the rezoning site plan entitled "Snellville Townhomes, Rosebud Road, Snellville, GA 30078", dated 01-30-2025, revised 02-17-2025, stamped received FEB 18 2025, with modifications permitted to meet conditions of zoning or State, County, and City regulations. Substantial variation from the conceptual rezoning site plan, as determined by the Director of Planning and Development will require Mayor and Council approval, after submitting a Change in Conditions application and receiving recommendations by the Planning Department and Planning Commission.
2. A Property Owner's Association shall be established for the continuous maintenance of all sidewalks, alleys, buffers, open space, landscaping, signage, stormwater detention, and recreation and clubhouse areas.
3. All alleys and stormwater management facilities shall be privately owned by the Property Owner's Association.

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4. The development and townhome units are to be deed restricted to at least 90% owner-occupied fee-simple single-family ownership while the remaining 10% of the townhome units may be used as non-owner occupied (rental) units. This condition must be incorporated into the Property Owner's Association documents prior to the release of any certificates of occupancy.
5. A six (6) foot high shadowbox wood privacy fence, or other fence type mutually agreed upon by the developer and adjacent property owners (Parcel 5100 022, 5100 047, and 5100 016) shall be installed along the southern property line unless waived in writing by the property owner(s) of these parcels.
6. A minimum six (6) feet wide sidewalk and minimum five (5) feet wide planter is required where the development is adjacent to Rosebud Road, an Urban Minor Arterial Street per the Gwinnett County Road Classification Map.
7. Rear-entry driveway length shall be a minimum of twenty-two (22) feet, measured from garage door to alley pavement edge. Front entry driveway length shall be a minimum of twenty-two (22) feet, measured from garage door to sidewalk.
8. The stormwater management ponds located at the southwestern portion of the site shall be designed as a wet extended detention facility, unless topographic, bedrock, or other preventive measures are present that require a dry pond.
9. Except for the cul-de-sac street, cross streets connecting to alleys shall have a minimum width of nineteen (19) feet measured back-of-curb.
10. All buildings shall have twenty (20) feet minimum separation between principal buildings.
11. Uses involving adult entertainment, including the sale or display of adult magazines, books, videos and as further defined by the Adult Entertainment Ordinance in effect on the date this condition is imposed, are prohibited.
12. Signs higher than 15 feet or larger than 225 square feet are prohibited.
13. Except as otherwise stated in the approved variances and conditions, townhomes shall be developed and constructed in accordance with the UDO provisions in effect prior to the 3-10-2025 approved text amendment #8.

Planning Director Thompson answered questions from the Council.

Jeff Timler, Split Silk Properties, P.O. Box 1725, Loganville, was present representing the applicant. He spoke about the application and said they agreed to the variances and conditions.

Mayor Bender opened the floor for public comment for those in favor and the following people came forward:

Denise Buchanan, 1355 Summit Chase Drive, Snellville, had questions about traffic.

Megan Palich, 3224 Brooks Drive, Snellville stated she thought it was appropriate development but had some concerns.

No one else came forward so Mayor Bender closed public comment for those in favor and opened the floor to those in opposition:

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Kit Vinsick, 1310 Summit Chase Drive, Snellville advised she was not for or against the development but had questions about stormwater runoff.

Cat Hardrick, 2280 Buckley Trail, Snellville spoke about concerns regarding the development.

No one else came forward so Mayor Bender closed public comment.

Jeff Timler, Split Silk Properties came forward and addressed the concerns raised during the public hearing.

Mayor Pro Tem Warner made a motion to approve RZ 25-01 with variances and conditions as referenced in ORD 2025-03, 2nd by Council Member Lenski.

Mayor and Council spoke about the application.

The motion was voted 5 in favor and 0 opposed, motion approved. (A copy of ORD 2025-03 is attached to and made a part of these minutes.)

1st Reading - RZ 25-03 LUP 25-01 – Consideration and Action on applications by The Revive Land Group, LLC (applicant) and Chris Dusik (property owner) and Soren S. Thomas Living Trust (property owner) requesting: a) to amend the Snellville 2045 Future Land Use Map from Residential –Low Density to Residential –Medium Density; b) to amend the Official Zoning Map from RS-30 (Single-family Residential) District to RX (Mixed Residential) District; and c) variance from UDO Sec. 201-1.6(D)(1) to increase the front yard area used for driveways from 35% to 67% for townhomes and 40% for single-family detached homes. The proposed project is for a single-family residential community consisting of 28 single-family (detached) homes and 42 single-family (attached) townhomes on a 15.149± acre site with a gross density of 4.62 units per acre, 2587 and 2597 Lenora Church Road, Snellville, Georgia (Tax Parcels 5027 001 and 5027 001E)

Council Member Lenski recused herself due to the fact that her property abuts the development. She left the Chambers at 8:23 p.m.

Mayor Pro Tem Warner made a motion to waive the first reading and place on the April 28, 2025 agenda for the 2nd reading and public hearing, 2nd by Council Member Carter; voted 4 in favor and 0 opposed, motion approved.

Council Member Lenski returned to the Chambers at 8:24 p.m.

CONSENT AGENDA

None

OLD BUSINESS

None

PUBLIC HEARING & REGULAR BUSINESS OF MAYOR AND COUNCIL
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NEW BUSINESS

Consideration and Action on an Intergovernmental Agreement (IGA) with Gwinnett County for the Sewer Extension Project [Bender]

Mayor Bender explained that the City will contribute \$1.4 million of designated SPLOST funds to the sewer expansion project.

Council Member Lenski made a motion to approve the IGA with Gwinnett County, 2nd by Council Member Hetherington; voted 5 in favor and 0 opposed, motion approved.

Consideration and Action on RES 2025-07 - Waiving Building Permit Fees and Land Disturbance Fees For 16.96 Acres Located at Henry Clower Boulevard, Pine Street, and Church Street, Snellville, Georgia [Bender]

Mayor Bender explained that these fees are being waived as part of the sewer expansion project. The developer was going to install a 12-inch pipe but the City needed an 18-inch pipe so the fees are being waived to help cover the cost for the difference.

Council Member Hetherington made a motion to approve RES 2025-07, 2nd by Council Member Carter; voted 5 in favor and 0 opposed, motion approved. (A copy of RES 2025-07 is attached to and made a part of these minutes.)

Consideration and Action on Surplus of Police Department Vehicle [Bender]

Council Member Lenski made a motion to approve the surplus, 2nd by Mayor Pro Tem Warner.

Mayor Bender advised the vehicle will be listed for sale on Govdeals.

The motion was voted 5 in favor and 0 opposed, motion approved.

Police Unit 220 – 2016 Dodge Charger – VIN 2C3CDXAG4GH319255 will be surplus.

COUNCIL REPORTS

Council Member Carter, Hetherington, Lenski, and Mayor Pro Tem Warner each gave a report.

MAYOR'S REPORT

Mayor Bender gave a report.

PUBLIC COMMENTS

The following people came forward to speak:

Katherine Morgan, 1630 Timberline Trace, Snellville.

Ann LaFavor, 3235 Satellite Blvd, Duluth.

John Andrus, 1291 Green Turf Drive, Snellville.

Kevin Lutick, 1545 Summit Chase Drive, Snellville.

Pat Port, 1247 Summit Chase Drive, Snellville.

Gloria Bienstock, 3398 Summit Turf Lane, Snellville.

Ken Dial, Zermatt Way, Snellville.

Ken Morgan, 1630 Timberline Trace, Snellville.

Wilfred St. Hillaire, 1620 Timberline Trace, Snellville.

Robin Brainard, 1555 Timberline Trace, Snellville.

Ross Lee, 3297 Classic Drive, Snellville.

Barbara Aho Wehner, 1391 Summit Chase Drive, Snellville.

Mila Volo, 3251 Garmon Drive, Snellville.

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Bob Brainard, 1555 Timberline Trace, Snellville.
Bradley Smith, 1319 Summit Chase Drive, Snellville.
David Impicciatore, 1410 Summit Chase Drive, Snellville.
Tammy Robinson, 1016 Masters Lane, Snellville.
Danielle Thaxton, 1560 Timberline Trace, Snellville.
Lonny Dykema, 1197 Summit Chase Drive, Snellville.
Megan Palich, 3224 Brooks Court, Snellville.
Julie Reese, 1343 Summit Chase Drive, Snellville.
Kit Vinsick, 1410 Summit Chase Drive, Snellville.
Hanae Isha, 1312 Green Turf Drive, Snellville.
Cat Hardrick, 2280 Buckely Trail, Snellville.
James Doppelheuer, 1371 Green Turf Drive, Snellville.
Shannon Doppelheuer, 1371 Green Turf Drive, Snellville.
Tricia Rawlins, 2088 Harbour Oaks Drive, Snellville.

EXECUTIVE SESSION

None

ADJOURNMENT

Council Member Hetherington made a motion to adjourn, 2nd by Council Member Carter; voted 5 in favor and 0 opposed, motion approved. The meeting adjourned at 10:37 p.m.

Barbara Bender, Mayor

Melisa Arnold, City Clerk

Agenda Item Summary



TO: The Mayor and Council

FROM: Jason Thompson, Director
Department of Planning and Development

DATE: April 28, 2025

CASE: #RZ 25-03 LUP 25-01– The Revive Land Group, LLC
70-Lot Mixed Residential Development)

STATUS: Public Hearing (2nd Reading)

Applications by Shane Lanham, Mahaffey Pickens Tucker, LLP, attorney for applicant The Revive Land Group, LLC and property owners Chris Dusik and Soren S. Thomas Living Trust, requesting to amend the Future Land Use Map and Official Zoning Map for a 15.149± acre site located at 2587 and 2597 Lenora Church Road, Snellville for 70 mixed-residential residences consisting of 28 single-family (detached) homes and 42 single-family (attached) townhomes with a gross density of 4.62 units per acre.

Financial Impact: Site Development Permit fees; Building Permit fees; and Real Property Taxes

Planning Department Recommendation: Approval with Conditions

Planning Commission Meeting And Recommendation: March 25, 2025 (Approval with Conditions)

Mayor and Council Meetings: April 14, 2025 (1st Reading)
April 28, 2025 (2nd Reading & Public Hearing)

Action Requested: Consideration, Public Hearing and Action

Draft Ordinances: Attached

Case Documents (website link):

- [Letter of Intent \(2-11-2025\)](#)
- [#RZ 25-03 Rezoning Application \(2-11-2025\)](#)
- [#LUP 25-01 Land Use Plan Amendment Application \(2-11-2025\)](#)

Case #RZ 25-03 LUP 25-01 – The Revive Land Group, LLC

70-Lot Mixed Residential Development

April 28, 2025

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- 1-24-2025 Boundary Survey (2-11-2025)
- 2-6-2025 Conceptual Rezoning Site Plan (2-11-2025)
- Building Elevations (2-11-2025)
- Mar 25 2025 Planning Department Case Summary & Analysis (3-19-2025)
- Mar 25 2025 Planning Commission Report (3-26-2025)
- Mar 26 2025 Planning Department Case Summary & Analysis with Planning Commission Report (3-26-2025)
- 3-28-2025 REVISED Rezoning Site Plan (4-8-2025)
- *Official* Mar 25 2025 Planning Commission Regular Meeting Minutes (4-23-2025)

STATE OF GEORGIA

CITY OF SNELLVILLE

ORDINANCE NO. 2025-07

AN ORDINANCE TO AMEND THE 2045 COMPREHENSIVE PLAN FUTURE LAND USE MAP FOR THE CITY OF SNELLVILLE, GEORGIA, AS AMENDED, FOR THE 15.149± ACRE TRACT OF LAND LOCATED IN LAND LOT 27 OF THE 5TH LAND DISTRICT, GWINNETT COUNTY, GEORGIA, 2587-2597 LENORA CHURCH ROAD, SNELLVILLE, GEORGIA; TO PROVIDE FOR SEVERABILITY; TO REPEAL CONFLICTING ORDINANCES; TO PROVIDE AN EFFECTIVE DATE; AND FOR OTHER PURPOSES.

CASE NUMBER:	#LUP 25-01
LOCATION:	2587-2597 Lenora Church Road, Snellville, Georgia
SIZE:	15.149± Acres
TAX PARCEL(s):	5027 001 and 5027 001E
REQUESTED FUTURE LAND USE MAP AMENDMENT:	Residential –Medium Density
DEVELOPMENT/PROJECT:	28-Lot Single-family (Detached) and 42-Unit Single-family (Attached) Subdivision
APPLICANT:	The Revive Land Group, LLC c/o Mahaffey Pickens Tucker, LLP Shane M. Lanham, Attorney for Applicant Lawrenceville, Georgia 30043
PROPERTY OWNER: (Parcel R5027 001)	Chris Dusik 2587 Lenora Church Rd, Snellville, GA 30078

PROPERTY OWNER:
(Parcel R5027 001E)

Soren S. Thomas Living Trust
PO Box 80042, Atlanta, GA 30366

WHEREAS, the governing authority of the City of Snellville, Georgia is the Mayor and Council thereof; and

WHEREAS, the governing authority of the City of Snellville, Georgia desires to amend the 2045 Comprehensive Plan Future Land Use Map as it applies to the 15.149± acre tract of land located in Land Lot 27 of the 5th Land District, Gwinnett County, Georgia at 2587-2597 Lenora Church Road, Snellville, Georgia (Tax Parcels 5027 001 and 5027 001E) for a mixed single-family (attached and detached) residential subdivision; and

WHEREAS, the subject property is located just south and outside of the Towne Center Character Area at the northern portion of the No Business Creek Character Area on the Snellville 2045 Comprehensive Plan Future Development Map; and

WHEREAS, the Residential –Medium Density future land use category is a *Considered* future land use category for the requested RX (Mixed Residential) zoning district; and,

WHEREAS, the health, safety, and welfare of the citizens of Snellville, Georgia, will be positively impacted by the adoption of this Ordinance; therefore:

IT IS HEREBY ORDAINED BY THE GOVERNING AUTHORITY OF THE CITY OF SNELLVILLE, GEORGIA, and by the authority thereof:

Section 1. The future land use designation of the 15.149± acre tract of land described and shown on the boundary survey entitled “Lenora Church Road Properties” sealed and dated 1-24-2025 (stamped received FEB 11 2025) in Exhibit “A”, a copy of which is attached hereto and incorporated herein by reference is hereby amended and changed from Residential –Low Density to Residential –Medium Density.

This change in the future land use is to be noted on the City of Snellville 2045 Comprehensive Plan Future Land Use Map, as previously amended and as approved by the Mayor and Council as soon as reasonably possible following the adoption of this Ordinance. The future land use map shall also be amended with an editorial note specifying the date this Snellville Land Use Plan Amendment was approved by the Mayor and Council and specifying the parcel(s) affected by this Ordinance. Until the change is indicated on the City of Snellville 2045 Comprehensive Plan Future Land Use Map approved by the Mayor and Council, this Ordinance shall govern over the City of Snellville 2045 Comprehensive Plan Future Land Use Map approved by the Mayor and Council to the extent of any discrepancy between this Ordinance and the City of Snellville 2045 Comprehensive Plan Future Land Use Map approved by the Mayor and Council.

Section 2. The preamble of this Ordinance shall be considered to be and is hereby incorporated by reference as if fully set out herein.

Section 3. (a) It is hereby declared to be the intention of the Mayor and Council that all sections, paragraphs, sentences, clauses and phrases of this Ordinance are or were, upon their enactment, believed by the Mayor and Council to be fully valid, enforceable and constitutional.

(b) It is hereby declared to be the intention of the Mayor and Council that, to the greatest extent allowed by law, each and every section, paragraph, sentence, clause or phrase of this Ordinance is severable from every other section, paragraph, sentence, clause or phrase of this Ordinance. It is hereby further declared to be the intention of the Mayor and Council that, to the greatest extent allowed by law, no section, paragraph, sentence,

clause or phrase of this Ordinance is mutually dependent upon any other section, paragraph, sentence, clause or phrase of this Ordinance.

(c) In the event that any phrase, clause, sentence, paragraph or section of this Ordinance shall, for any reason whatsoever, be declared invalid, unconstitutional or otherwise unenforceable by the valid judgment or decree of any court of competent jurisdiction, it is the express intent of the Mayor and Council that such invalidity, unconstitutionality or unenforceability shall, to the greatest extent allowed by law, not render invalid, unconstitutional or otherwise unenforceable any of the remaining phrases, clauses, sentences, paragraphs or sections of the Ordinance and that, to the greatest extent allowed by law, all remaining phrases, clauses, sentences, paragraphs and sections of the Ordinance shall remain valid, constitutional, enforceable, and of full force and effect.

Section 4. Penalties in effect for violations of the Unified Development Ordinance of the City of Snellville at the time of the effective date of this Ordinance shall be and are hereby made applicable to this Ordinance and shall remain in full force and effect.

Section 5. All ordinances and parts of ordinances in conflict herewith are hereby expressly repealed.

Section 6. This Ordinance was adopted on _____, 2025. The effective date of this Ordinance shall be the date of adoption unless otherwise stated herein.

[SIGNATURES BEGIN ON THE FOLLOWING PAGE]

ORDAINED this ____ day of _____, 2025.

Barbara Bender, Mayor

ATTEST:

Tod Warner, Mayor Pro Tem

Melisa Arnold, City Clerk

Cristy Lenski, Council Member

APPROVED AS TO FORM:

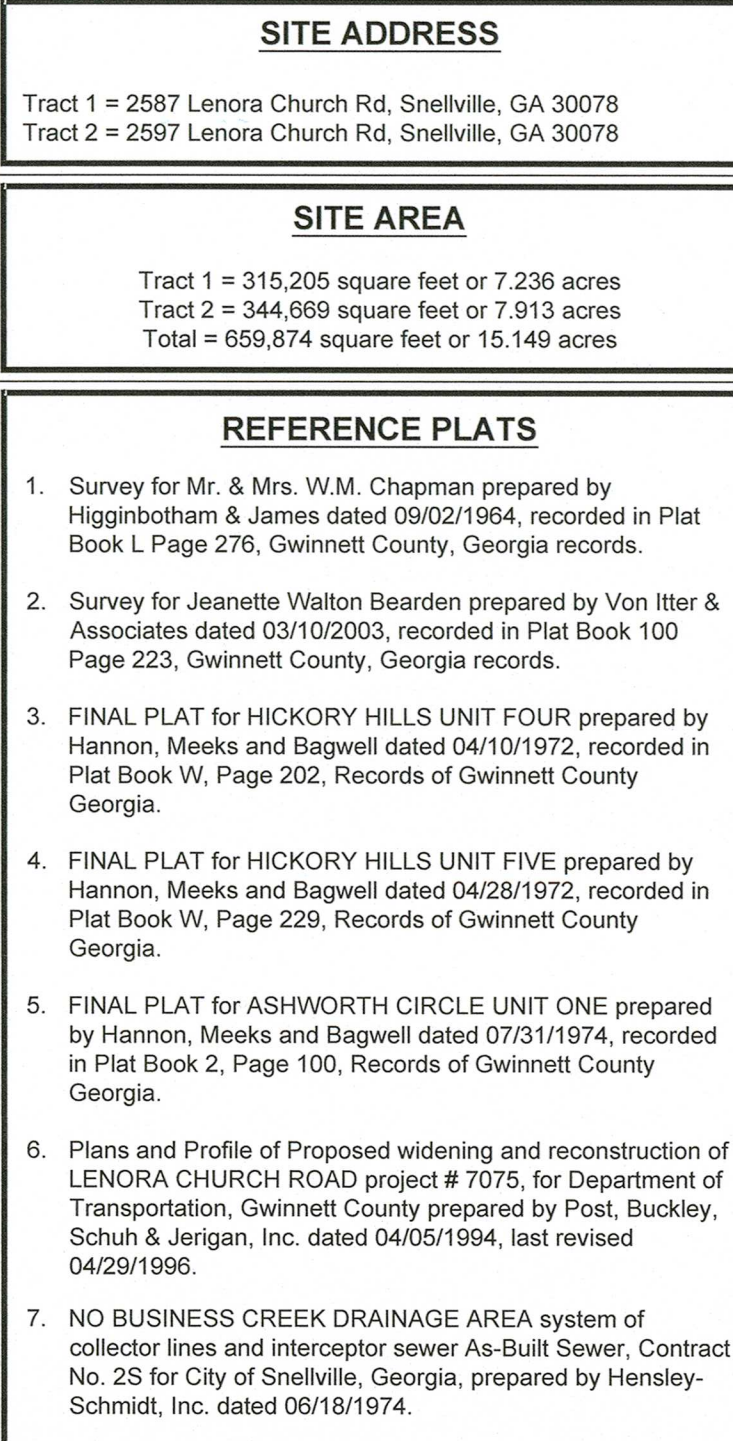
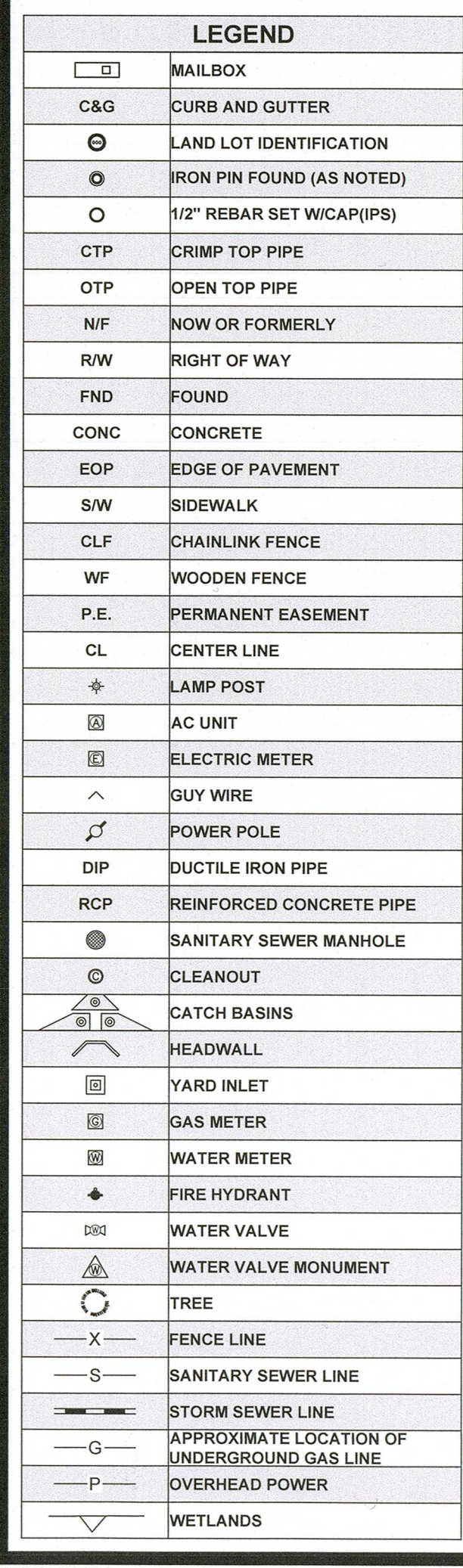
Gretchen Schulz, Council Member

John J. Crowley, City Attorney
Powell & Crowley, LLP

Kerry Hetherington, Council Member

Norman Carter, Council Member

EXHIBIT “A”




- CERTIFICATION:**
- This plat is a reattachment of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any change in any real property boundaries. The undersigned Land Surveyor certifies that the information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated herein.
- BY Kevin G. Pate OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned Land Surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in Section 15-6-67.
- This is to certify that this survey was made under my supervision and is a true representation of the land surveyed. The field data upon which this plat is based was collected and reduced to eGPS 2011 receiver with network adjusted real time kinematic measurements referenced to the eGPS Network. The GPS survey was made with redundant measurements with positional accuracy better than 0.07".
- This map or plat has been calculated for closure and is found to be accurate within one foot for 738,310 feet.
- Kevin G. Pate* Date 1-10-25
- KEVIN G. PATE
Georgia Professional Land Surveyor, No. 3499
For the Firm Travis Pruitt & Associates, Inc.
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Travis Pruitt & Associates, Inc.
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4317 Park Drive, Suite 400
Norcross, Georgia 30093
Phone: (770) 416-7511
Fax: (770) 416-6759
www.travispruitt.com

Travis Pruitt & Associates, Inc.
SUPERVISORS • ENVIRONMENTAL SCIENTISTS
SENIORS • LANDSCAPE ARCHITECTS

Certificate of Authorization Number



For The Firm
Travis Pruitt & Associates, Inc.

This survey was prepared in conformity with The Technical Standards for Property Surveys as Georgia as set forth in Chapter 180-7 of the Rules of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in the Georgia Plat Act O.C.G.A. 15-6-67.

PLAT DATE: 1/24/2025
FIELD DATE: 1/23/2025
SCALE: 1" = 50'
JN: 1-25-0001.604
FN: 219-E-109

SHEET NO: 1 of 1

STATE OF GEORGIA

CITY OF SNELLVILLE

ORDINANCE NO. 2025-08

AN ORDINANCE TO AMEND THE OFFICIAL ZONING MAP OF THE CITY OF SNELLVILLE, GEORGIA, AS AMENDED, FOR A 15.149± ACRE TRACT OF LAND LOCATED IN LAND LOT 27 OF THE 5TH LAND DISTRICT, GWINNETT COUNTY, GEORGIA, 2587-2597 LENORA CHURCH ROAD, SNELLVILLE, GEORGIA; TO GRANT VARIANCES; TO ADD CONDITIONS AFFECTING THE PROPERTY; TO PROVIDE FOR SEVERABILITY; TO REPEAL CONFLICTING ORDINANCES; TO PROVIDE AN EFFECTIVE DATE; AND FOR OTHER PURPOSES.

CASE NUMBER:	#RZ 25-03
LOCATION:	2587-2597 Lenora Church Road, Snellville, Georgia
SIZE:	15.149± Acres
TAX PARCEL(s):	5027 001 and 5027 001E
REQUESTED ZONING:	RX (Mixed Residential) District
DEVELOPMENT/PROJECT:	28-Lot Single-family (Detached) and 42-Unit Single-family (Attached) Subdivision
APPLICANT:	The Revive Land Group, LLC c/o Mahaffey Pickens Tucker, LLP Shane M. Lanham, Attorney for Applicant Lawrenceville, Georgia 30043
PROPERTY OWNER: (Parcel R5027 001)	Chris Dusik 2587 Lenora Church Rd, Snellville, GA 30078
PROPERTY OWNER: (Parcel R5027 001E)	Soren S. Thomas Living Trust PO Box 80042, Atlanta, GA 30366

WHEREAS, the governing authority of the City of Snellville, Georgia is the Mayor and Council thereof; and

WHEREAS, the governing authority of the City of Snellville, Georgia desires to amend its official zoning map as it applies to the 15.149± acre tract of land located at 2587-2597 Lenora Church Road, Snellville, Georgia (Tax Parcels 5027 001 and 5027 001E) for a mixed single-family (attached and detached) residential subdivision; and

WHEREAS, the governing authority of the City of Snellville, Georgia desires to grant variance from Article 1 of Chapter 200 of the Snellville Unified Development Ordinance; and

WHEREAS, the governing authority of the City of Snellville, Georgia desires to add conditions of zoning to the property; and,

WHEREAS, the health, safety, and welfare of the citizens of Snellville, Georgia, will be positively impacted by the adoption of this Ordinance; therefore:

IT IS HEREBY ORDAINED BY THE GOVERNING AUTHORITY OF THE CITY OF SNELLVILLE, GEORGIA, and by the authority thereof:

Section 1. The Official Zoning Map for the City of Snellville, Georgia for the 15.149± acre tract of land described and shown on the boundary survey entitled “Lenora Church Road Properties” sealed and dated 1-24-2025 (stamped received FEB 11 2025) in Exhibit “A”, a copy of which is attached hereto and incorporated herein by reference is hereby amended and changed from RS-30 (Single-family Residential) District to RX (Mixed Residential) District, subject to the attachment of the following enumerated variance and conditions:

VARIANCE:

1. Approval of variance from UDO Sec. 201-1.6(D)(1) to increase the amount of front yard area for driveways from 35% to 67% for townhomes and from 35% to 40% for single-family (detached) lots.

CONDITIONS:

1. The property shall be developed in accordance with the conceptual rezoning site plan entitled “Somerset at Snellville”, dated 3-28-2025 (stamped received APR 3 2025) in Exhibit “B”, a copy of which is attached hereto and incorporated herein by reference, with modifications permitted to meet conditions of zoning or State, County, and City regulations. Substantial variation from the conceptual rezoning site plan, as determined by the Director of Planning and Development will require Mayor and Council approval.
2. Townhomes shall be developed and constructed in accordance with the UDO provisions in effect prior to the 3-10-2025 approved text amendment #8.
3. Uses involving adult entertainment, including the sale or display of adult magazines, books, videos and as further defined by the Adult Entertainment Ordinance in effect on the date this condition is imposed, are prohibited.
4. Signs higher than 15 feet and larger than 225 sq. ft. in area are prohibited.
5. A mandatory Homeowner’s Association shall be formed and incorporated within the State of Georgia for all single-family (detached) and (attached) lots in the development and common areas. A rental cap of ten-percent (10%) of the total number of lots at any given time for rentals greater than thirty (30) consecutive days shall be placed on the development with such language being included in the Homeowner’s Association Declaration of Covenants, Conditions and Restrictions.

Section 2. The changes in zoning classification are to be noted on the Official Zoning Map of the City of Snellville, Georgia as approved by the Mayor and Council as soon as reasonably possible following the adoption of this Ordinance. The Official Zoning Map of the City of Snellville, Georgia, shall also be amended with an editorial note specifying the date these Snellville zoning amendments were approved by the Mayor and Council and specifying the parcels affected by this Ordinance. Until the changes are indicated on the Official Zoning Map of the City of Snellville, Georgia, as approved by the

Mayor and Council, this Ordinance shall govern over Official Zoning Map of the City of Snellville, Georgia approved by the Mayor and Council to the extent of any discrepancy between this Ordinance and the Official Zoning Map of the City of Snellville, Georgia approved by the Mayor and Council.

Section 3. The preamble of this Ordinance shall be considered to be and is hereby incorporated by reference as if fully set out herein.

Section 4. (a) It is hereby declared to be the intention of the Mayor and Council that all sections, paragraphs, sentences, clauses and phrases of this Ordinance are or were, upon their enactment, believed by the Mayor and Council to be fully valid, enforceable and constitutional.

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(c) In the event that any phrase, clause, sentence, paragraph or section of this Ordinance shall, for any reason whatsoever, be declared invalid, unconstitutional or otherwise unenforceable by the valid judgment or decree of any court of competent jurisdiction, it is the express intent of the Mayor and Council that such invalidity, unconstitutionality or unenforceability shall, to the greatest extent allowed by law, not render invalid, unconstitutional or otherwise unenforceable any of the remaining phrases,

clauses, sentences, paragraphs or sections of the Ordinance and that, to the greatest extent allowed by law, all remaining phrases, clauses, sentences, paragraphs and sections of the Ordinance shall remain valid, constitutional, enforceable, and of full force and effect.

Section 5. Penalties in effect for violations of Chapter 1 of the Code of Ordinances, City of Snellville, Georgia at the time of the effective date of this Ordinance shall be and are hereby made applicable to this Ordinance and shall remain in full force and effect.

Section 6. All ordinances and parts of ordinances in conflict herewith are hereby expressly repealed

Section 7. This Ordinance was adopted on _____, 2025. The effective date of this Ordinance shall be the date of adoption unless otherwise stated herein.

[SIGNATURES BEGIN ON THE FOLLOWING PAGE]

ORDAINED this ____ day of _____, 2025.

Barbara Bender, Mayor

ATTEST:

Tod Warner, Mayor Pro Tem

Melisa Arnold, City Clerk

Cristy Lenski, Council Member

APPROVED AS TO FORM:

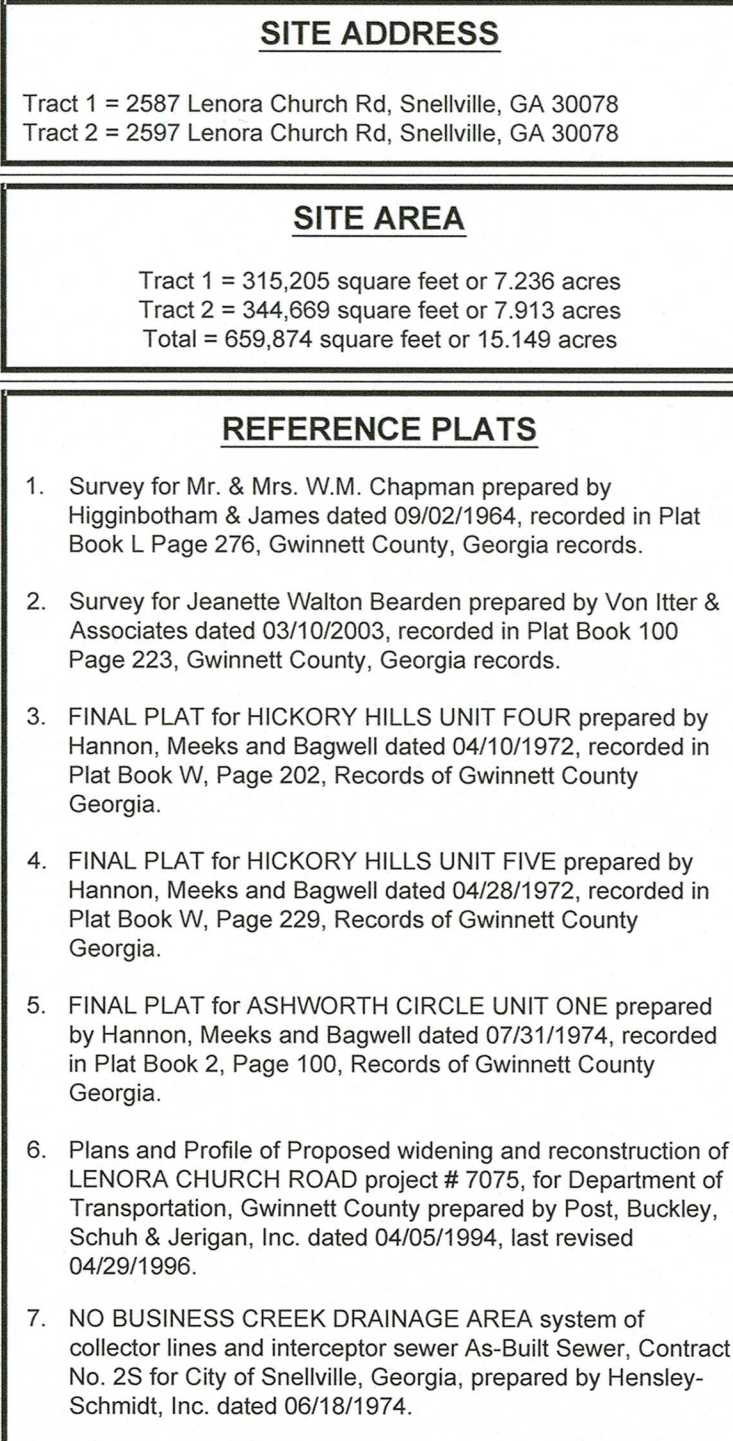
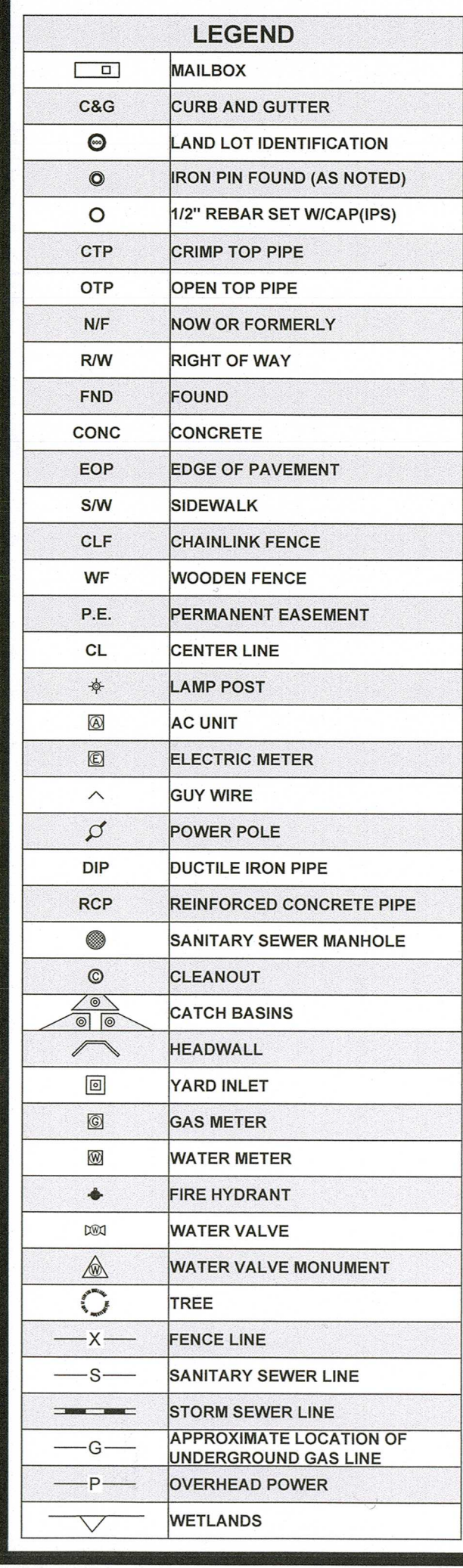
Gretchen Schulz, Council Member

John J. Crowley, City Attorney
Powell & Crowley, LLP

Kerry Hetherington, Council Member

Norman Carter, Council Member

EXHIBIT “A”




- CERTIFICATION:**
- This plat is a reattachment of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any change in any real property boundaries. The undersigned Land Surveyor certifies that this plat contains all the information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated herein.
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- This is to certify that this survey was made under my supervision and is a true representation of the land surveyed. The field data was obtained by the use of a base station and a Leica GS16+ GNSS 2021 receiver with network adjusted real time kinematic measurements referenced to the eGPS Network. The GPS survey was made with redundant measurements with positional accuracy better than 0.07".
- This map or plat has been calculated for closure and is found to be accurate within one foot for 738,310 feet.
- Kevin G. Pate* Date 1-10-25
- KEVIN G. PATE
Georgia Professional Land Surveyor No. 3499
For the Firm Travis Pruitt & Associates, Inc.
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Norcross, Georgia 30093
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Certificate of Authorization Number



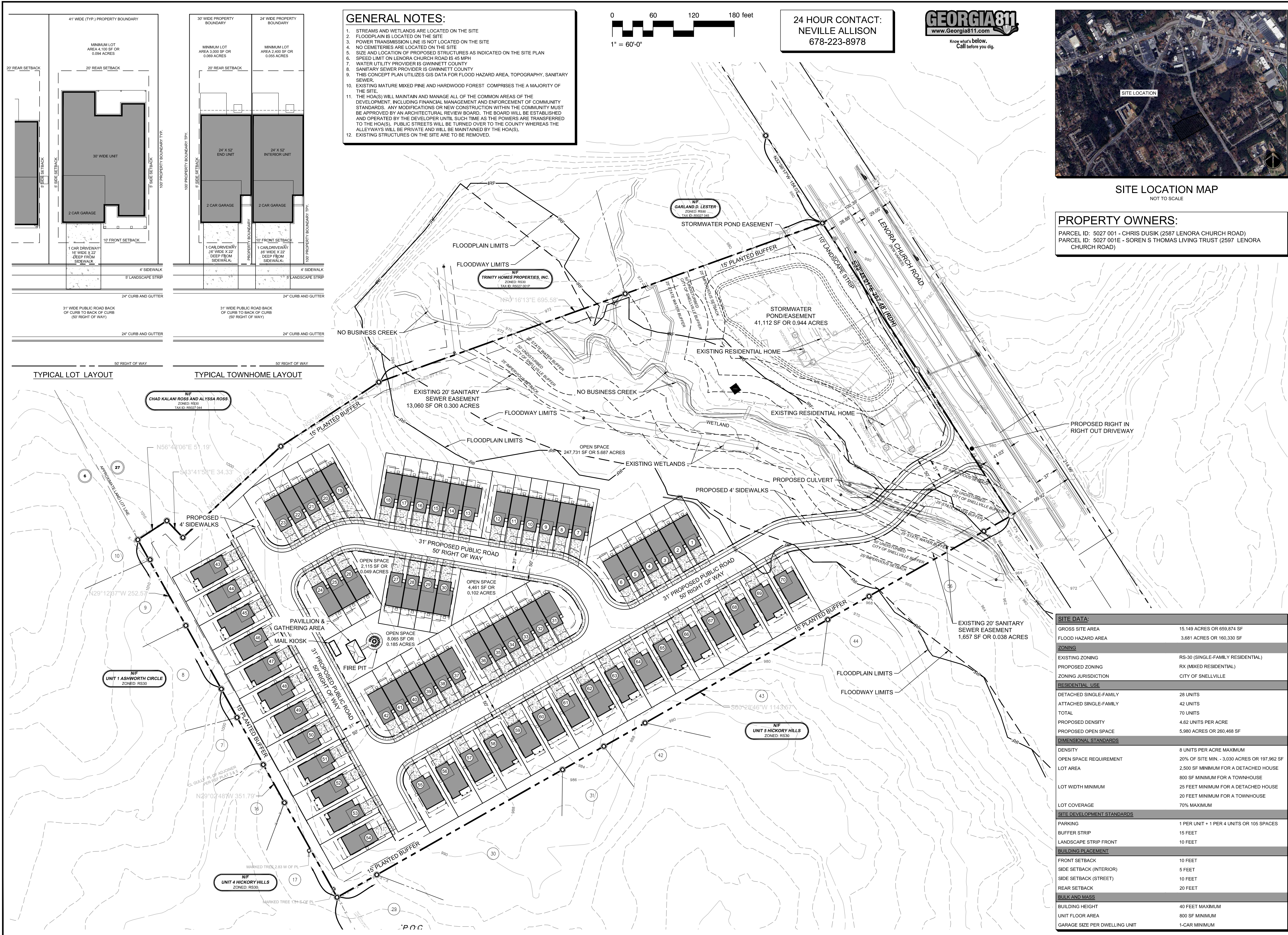
For The Firm
Travis Pruitt & Associates, Inc.

This survey was prepared in conformity with The Technical Standards for Property Surveys as Georgia as set forth in Chapter 180-7 of the Rules of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in the Georgia Plat Act O.C.G.A. 15-6-67.

PLAT DATE: 1/24/2025
FIELD DATE: 1/23/2025
SCALE: 1" = 50'
JN: 1-25-0001.604
FN: 219-E-109

SHEET NO: 1 of 1

EXHIBIT “B”



ENGINEER

THE REVIVE LAND GROUP

SOURCE. ENTITLE. REVIVE.

ONE ALLIANCE CENTER
3500 LENOX ROAD
SUITE 625
ATLANTA, GEORGIA 30326
O: (678) 223-8978
WWW.THEREVIVELANDGROUP.COM

PROJECT

**PROJECT
AT
SNELLVILLE**

A MASTER PLANNED
RESIDENTIAL DEVELOPMENT

2587 AND 2597 LENORA
CHURCH ROAD
SNELLVILLE, GA 30078

CITY OF SNELLVILLE
GWINNETT COUNTY
GEORGIA

CLIENT

THE REVIVE LAND GROUP

SOURCE. ENTITLE. REVIVE.

ONE ALLIANCE CENTER
3500 LENOX ROAD
SUITE 625
ATLANTA, GEORGIA 30326
O: (678) 223-8978
THEREVIVELANDGROUP.COM

REVISION

PROJECT NUMBER
24015

SEAL

GEORGIA
REGISTERED
ENGINEER
No. 19643
PROFESSIONAL
CHAD KALANI ROSS
5-28-2025

SEAL IS ONLY VALID IF COUNTER SIGNED
AND DATED WITH AN ORIGINAL SIGNATURE

NORTH

DATE
MARCH 28, 2025

TITLE
**CONCEPTUAL
SITE PLAN**

SHEET
Z-01



Agenda Item Summary

TO: The Mayor and Council

FROM: Jason Thompson, Director
Department of Planning and Development

DATE: April 28, 2025

CASE: #RZ 24-04 LUP 24-02 – Summit Chase West

STATUS: Case Continuation

Applications by KJ Luxury Homes, LLC (applicant) and Summit Chase Country Club, Inc. (property owner) requesting to:

- a) amend the Snellville 2045 Future Land Use Map from Park/Residential to Residential –Low Density; and,
- b) amend the Official Zoning Map from RS-30 (Single-family Residential) District to RS-5 (Single-family Residential) District,

For a 150-lot single-family (detached) subdivision with 26.50± acres of open space including country club style tennis courts, swimming pool, clubhouse and other amenities for residents to enjoy on a 95.386± acre vacant golf course and country club site with a gross density of 1.57 lots per acre, situated along Green Turf Drive and Classic Drive, 3197 Classic Drive, Snellville, Georgia (Tax Parcel 5093 106).

Financial Impact: Site Development Permit fees; Building Permit fees; and Real Property Taxes

Planning Department Recommendation: Approval with Conditions

Planning Commission Meeting and Recommendation: February 25, 2025 (Denial of LUP 24-02)

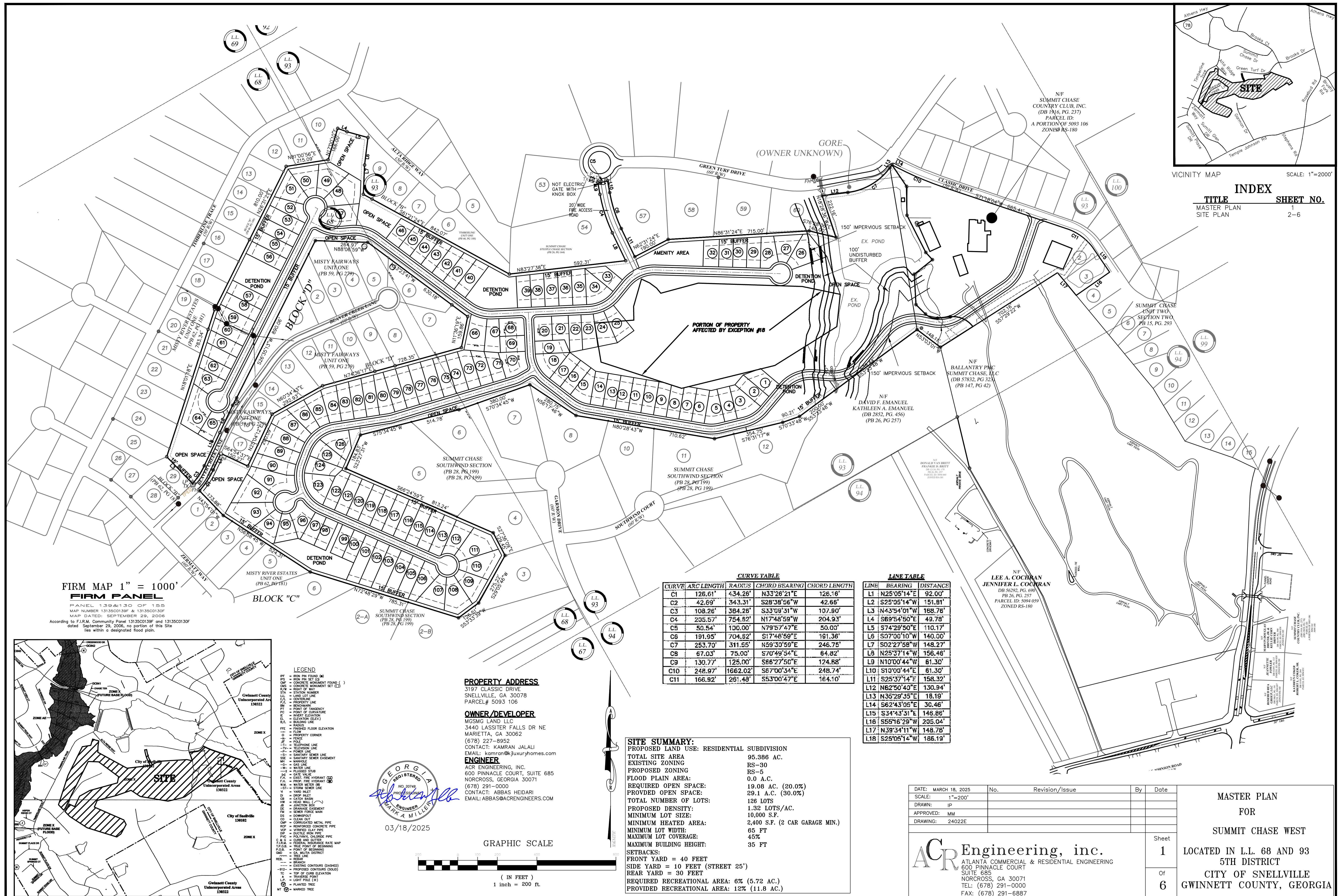
Mayor and Council Meetings: March 10, 2025 (1st Reading)
March 24, 2025 (2nd Reading and Public Hearing)
April 28, 2025 (Case Continuation)

Action Requested: Consideration and Vote on Motion to Approve

Draft Ordinance(s): Attached

Case Documents (website link):

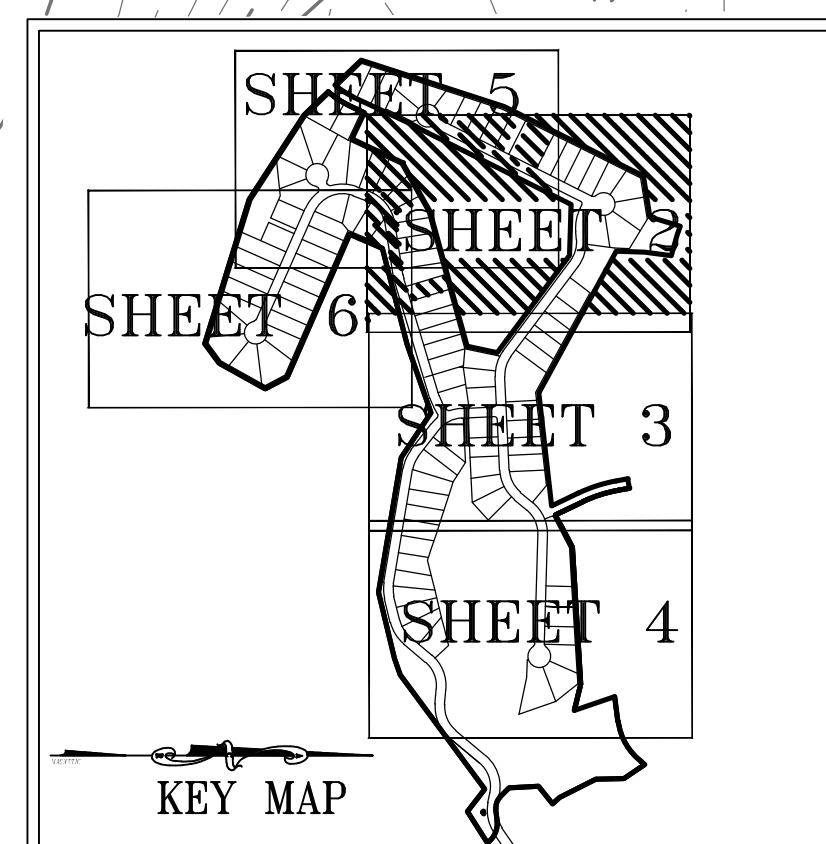
- Letter of Intent (9-10-2024)
- #RZ 24-04 Rezoning Application (9-10-2024)
- #LUP 24-02 Land Use Plan Amendment Application (9-10-2024)
- Sample Front Building Elevations (9-10-2024)
- 9-10-2024 Rezoning Site Plan (9-10-2024)
- 10-17-2024 Applicant Request to Table Oct 22nd Planning Commission Action (10-17-2024)
- Oct 22 2024 Planning Commission Case Report (10-23-2024)
- 11-26-2024 Second Request to Table Dec 10th Planning Commission Action to Jan 28 2025 (11-26-2024)
- Dec 10 2024 Planning Commission Case Report (12-11-2024)
- 1-15-2025 Third Request to Table Jan 28th Planning Commission Action to Feb 25 2025 (1-16-2025)
- 1-17-2025 REVISED Rezoning Site Plan (1-29-2025)
- Jan 28 2025 Planning Commission Case Report (1-29-2025)
- 1-30-2025 REVISED Rezoning Site Plan (2-3-2025)
- Feb 25 2025 Planning Department Case Summary & Analysis (2-13-2025)
- Feb 25 2025 Planning Commission Case Report (2-26-2025)
- *Official* Feb 25 2025 Planning Commission Regular Meeting Minutes (3-26-2025)
- Mar 10 2025 Planning Department Case Summary & Analysis with Planning Commission Report (3-4-2025)
- 3-18-2025 REVISED Rezoning Site Plan (3-20-2025)
- 3-20-2025 Applicant Attorney Email (3-20-2025)





NOTE: LOCATIONS OF SANITARY AND STORM SEWER STRUCTURE AND PIPES ARE PRELIMINARY AND WILL MODIFY DURING CONSTRUCTION DESIGN PLAN

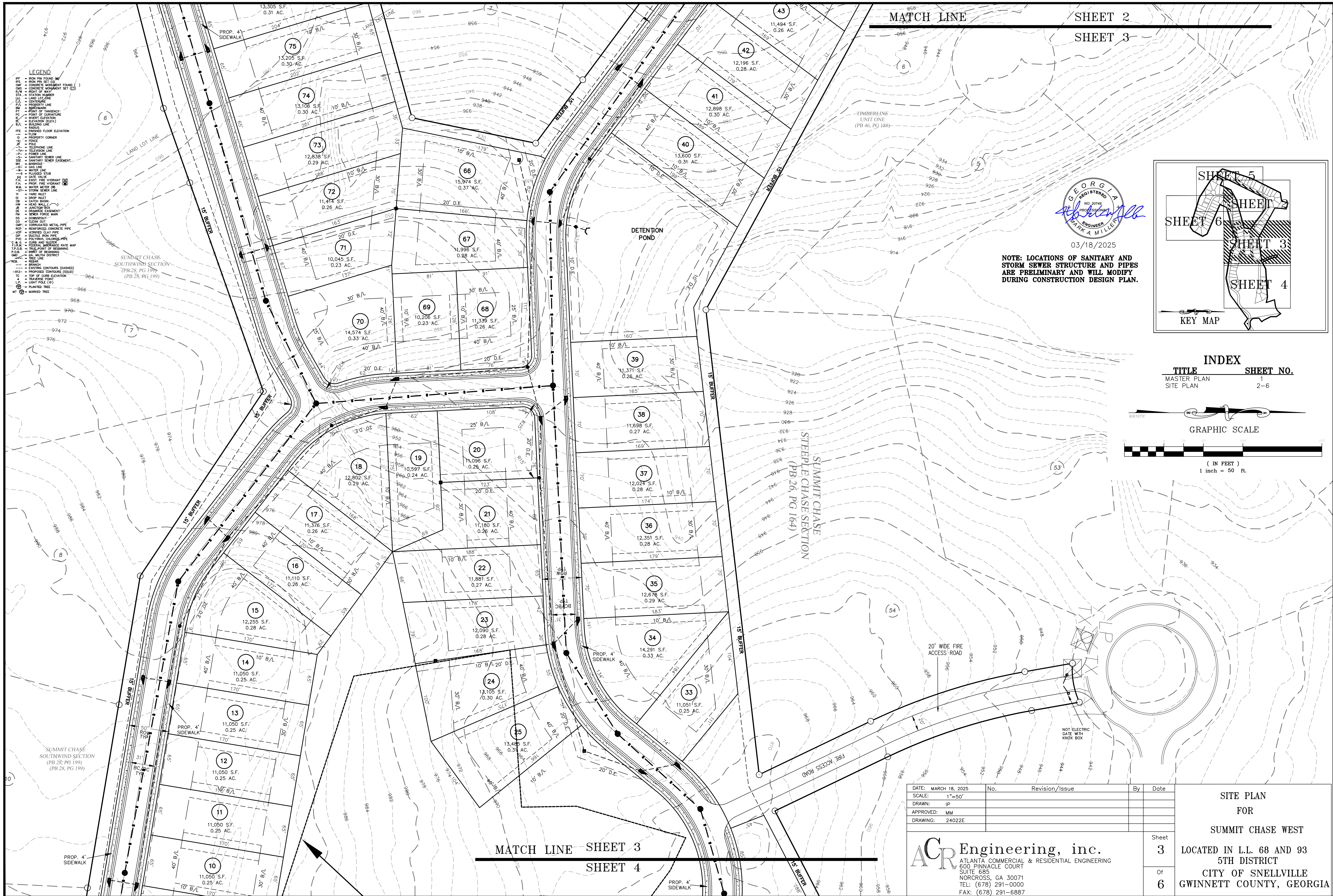
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DATE: MARCH 18, 2025	No.	Revision/Issue	By	Date
SCALE: 1"=50'				
DRAWN: IP				
APPROVED: MM				
DRAWING: 24022E				

ACR Engineering, inc.
ATLANTA COMMERCIAL & RESIDENTIAL ENGINEERING
600 PINNACLE COURT
SUITE 685
NORCROSS, GA 30071
TEL: (678) 291-0000
FAX: (678) 291-6887

SITE PLAN
FOR
SUMMIT CHASE WEST
LOCATED IN L.L. 68 AND 93
5TH DISTRICT
CITY OF SNELLVILLE
GWINNETT COUNTY, GEORGIA

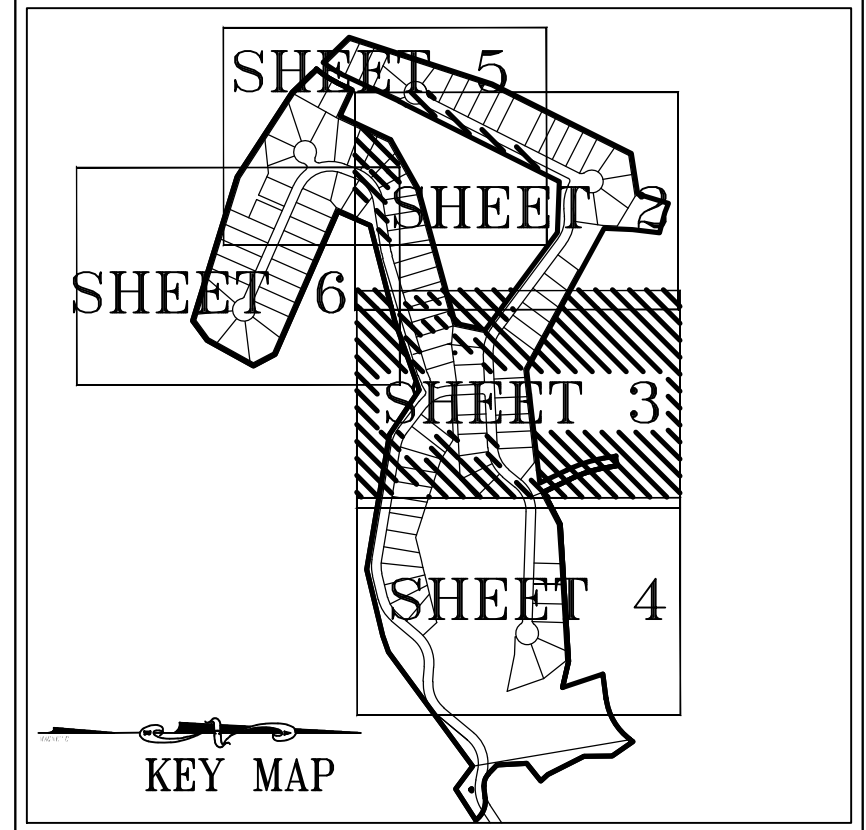


- LEGEND**
- IRON PIN FOUND (IP)
 - CONCRETE MONUMENT FOUND (CM)
 - RIGHT OF WAY (R/W)
 - STATION NUMBER (ST)
 - LAND LOT LINE
 - PROPERTY LINE
 - BRICKWORK
 - POINT OF TANGENCY
 - POINT OF CURVATURE
 - ELEVATION (ELEV)
 - BUILDING LINE
 - RADIUS
 - PROPOSED FLOOR ELEVATION
 - FLOW
 - PROPERTY CORNER
 - POLE
 - TELEPHONE LINE
 - TELEVISION LINE
 - POWER LINE
 - SANITARY SEWER LINE
 - SANITARY SEWER EASEMENT
 - MANHOLE
 - WATER LINE
 - PLUGGED SUB
 - WATER VALVE
 - EXIST. FIRE HYDRANT
 - PROP. FIRE HYDRANT
 - WATER METER (WM)
 - STORM SEWER LINE
 - YARD INLET
 - CATCH BASIN
 - ROAD INLET
 - JUNCTION BOX
 - SEWER EASEMENT
 - SEWER FORCE MAIN
 - DOWNSPOUT
 - LEAN OUT
 - CORRUGATED METAL PIPE
 - REINFORCED CONCRETE PIPE
 - VITRIFIED CLAY PIPE
 - DUCTILE IRON PIPE
 - POLYVINYL CHLORIDE PIPE
 - CURB AND GUTTER
 - FEDERAL INSURANCE RATE MAP
 - POINT OF BEGINNING
 - WARRANTY DISTRICT
 - SEWER LINE
 - BRANCH
 - EXISTING CONTOURS (DASHED)
 - PROPOSED CONTOURS (SOLID)
 - TOP OF CURB ELEVATION
 - MANHOLE POINT
 - PLANTED TREE
 - MARKED TREE

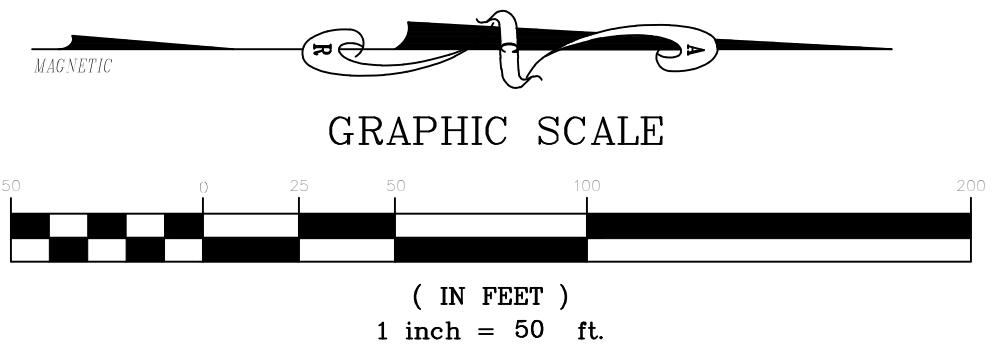
SHEET 2
SHEET 3



NOTE: LOCATIONS OF SANITARY AND STORM SEWER STRUCTURE AND PIPES ARE PRELIMINARY AND WILL MODIFY DURING CONSTRUCTION DESIGN PLAN.



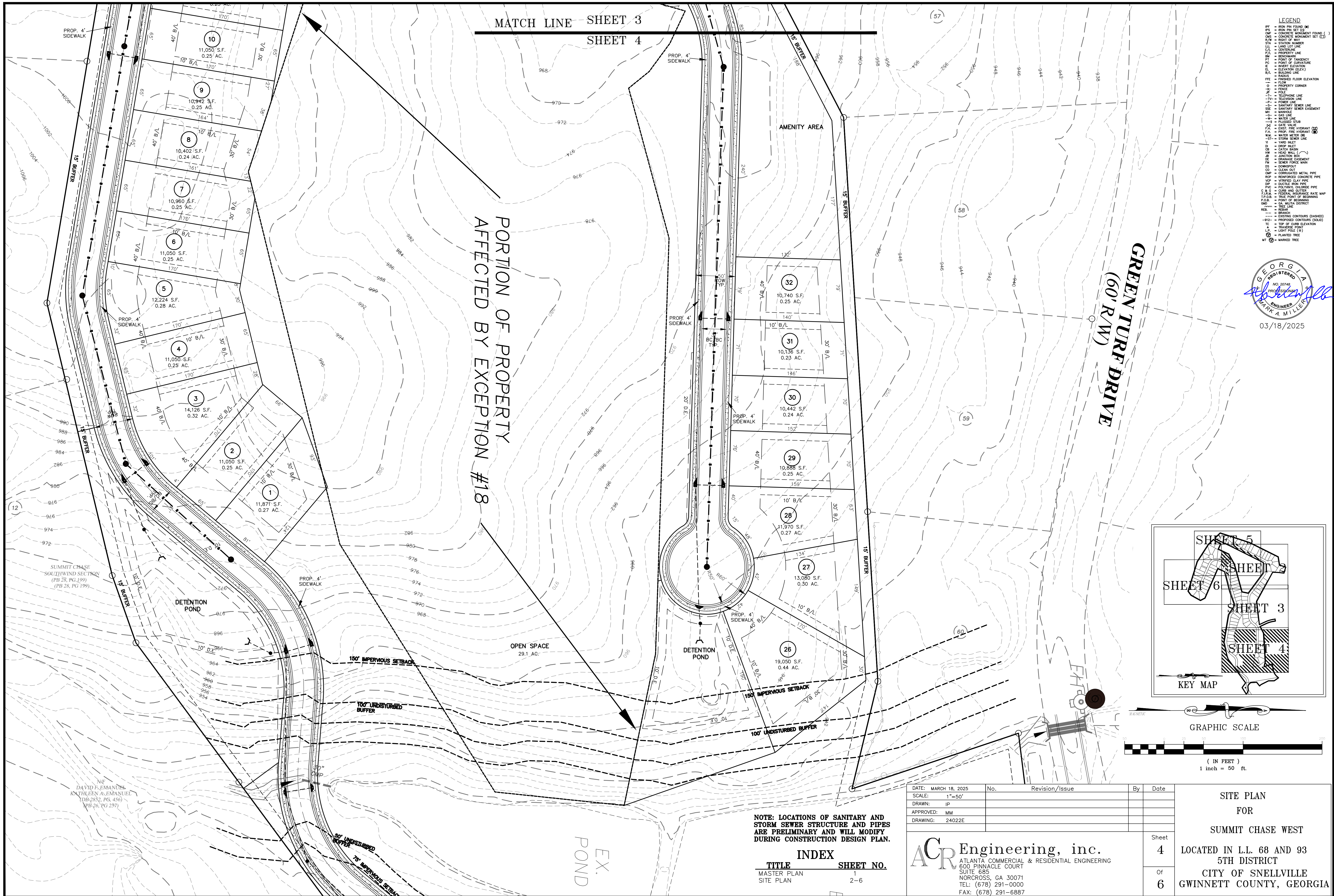
INDEX	
TITLE	SHEET NO.
MASTER PLAN	1
SITE PLAN	2-6



DATE: MARCH 18, 2025	No.	Revision/Issue	By	Date
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DRAWN: IP				
APPROVED: MM				
DRAWING: 24022E				

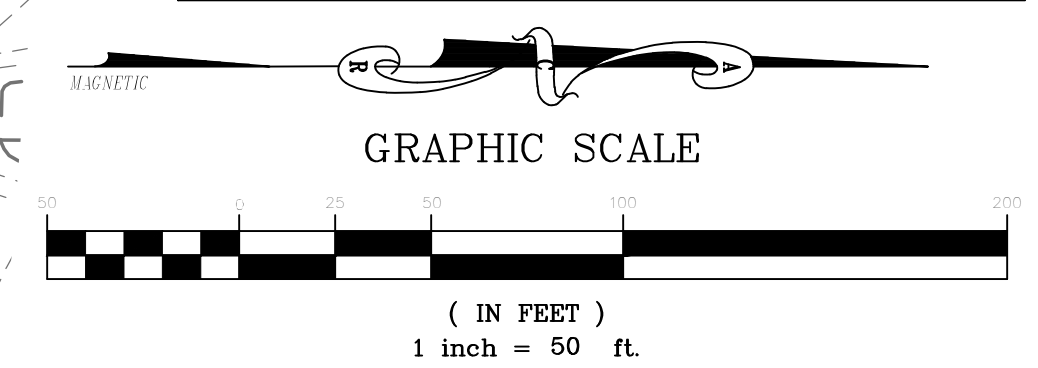
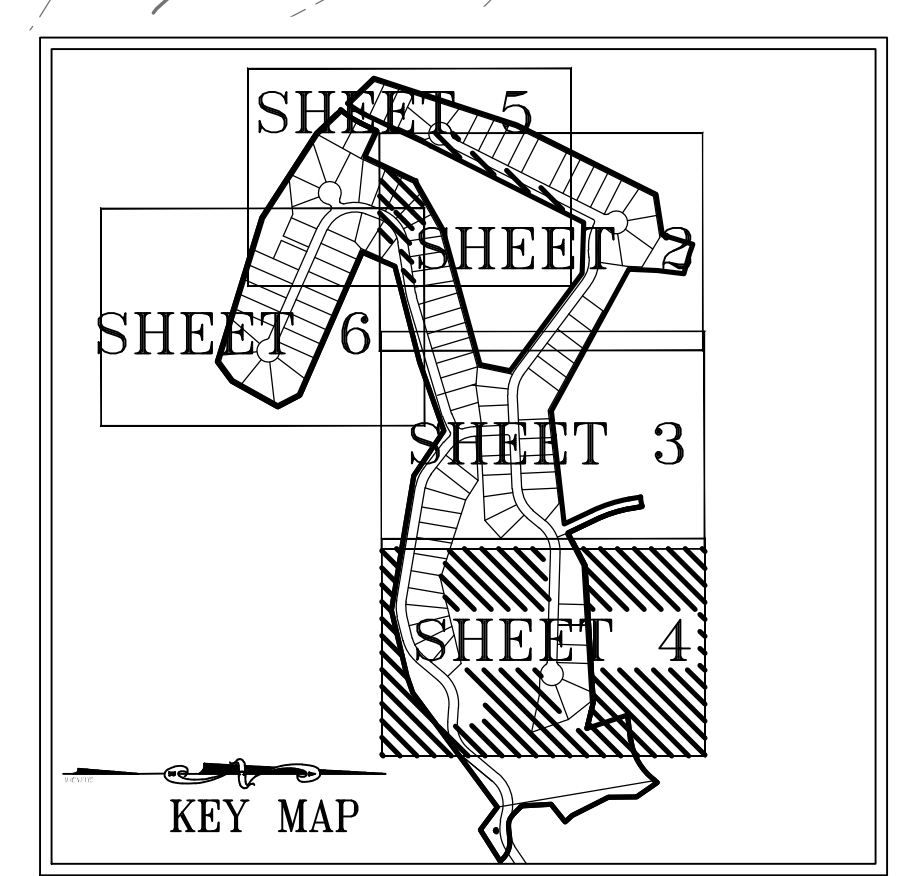
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SITE PLAN FOR SUMMIT CHASE WEST LOCATED IN L.L. 68 AND 93 5TH DISTRICT CITY OF SNELLVILLE GWINNETT COUNTY, GEORGIA	
Sheet 3	Of 6



- LEGEND
- IF = IRON PIN FOUND (I)
 - CP = CONCRETE PAVEMENT FOUND (C)
 - R/W = RIGHT OF WAY
 - CM = CENTERLINE
 - LL = LAND LOT LINE
 - PL = PROPERTY LINE
 - BM = BENCHMARK
 - PT = POINT OF TANGENCY
 - PC = POINT OF CURVATURE
 - EL = ELEVATION (ELEV.)
 - BL = BUILDING LINE
 - RA = RADIUS
 - FFE = FINISHED FLOOR ELEVATION
 - OC = PROPERTY CORNER
 - FC = FENCE
 - PL = POLE LINE
 - TV = TELEVISION LINE
 - PL = POWER LINE
 - SS = SANITARY SEWER LINE
 - SE = SANITARY SEWER EASEMENT
 - MI = MANHOLE
 - SL = SAIL LINE
 - WC = WATER LINE
 - PLUG = PLUGGED STUB
 - FI = EXIST. FIRE HYDRANT
 - FI = PROP. FIRE HYDRANT
 - WM = WATER METER (W)
 - ST = STORM SEWER LINE
 - YI = YARD INLET
 - DI = DROP INLET
 - CB = CATCH BASIN
 - HW = HEAD WALL
 - JB = JUNCTION BOX
 - SE = SEWAGE EASEMENT
 - TM = TIE MAIN
 - DS = DOWNSPOUT
 - CO = CLEAN OUT
 - CMP = CORRUGATED METAL PIPE
 - RCP = REINFORCED CONCRETE PIPE
 - VCP = VITRIFIED CLAY PIPE
 - UP = DUCTILE IRON PIPE
 - PVC = POLYVINYL CHLORIDE PIPE
 - CS = CURE AND SUTURE
 - FIRM = FEDERAL INSURANCE RATE MAP
 - TPCB = TRUE POINT OF BEGINNING
 - P.O.B. = POINT OF BEGINNING
 - MS = MISSISSIPPI DISTRICT
 - RE = REBAR
 - BR = BRANCH
 - EX = EXISTING CONTOURS (DASHED)
 - PR = PROPOSED CONTOURS (SOLID)
 - TC = TOP OF CURB ELEVATION
 - LP = LIGHT POLE (L)
 - PL = PLANTED TREE
 - MT = MARKED TREE

REGISTERED PROFESSIONAL ENGINEER
PAUL A. MILLER
03/18/2025



NOTE: LOCATIONS OF SANITARY AND STORM SEWER STRUCTURE AND PIPES ARE PRELIMINARY AND WILL MODIFY DURING CONSTRUCTION DESIGN PLAN.

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TITLE	SHEET NO.
MASTER PLAN	2-6
SITE PLAN	

DATE:	NO.	Revision/Issue	By	Date
MARCH 18, 2025				
SCALE:				
1"=50'				
DRAWN:				
IP				
APPROVED:				
MM				
DRAWING:				
24022E				

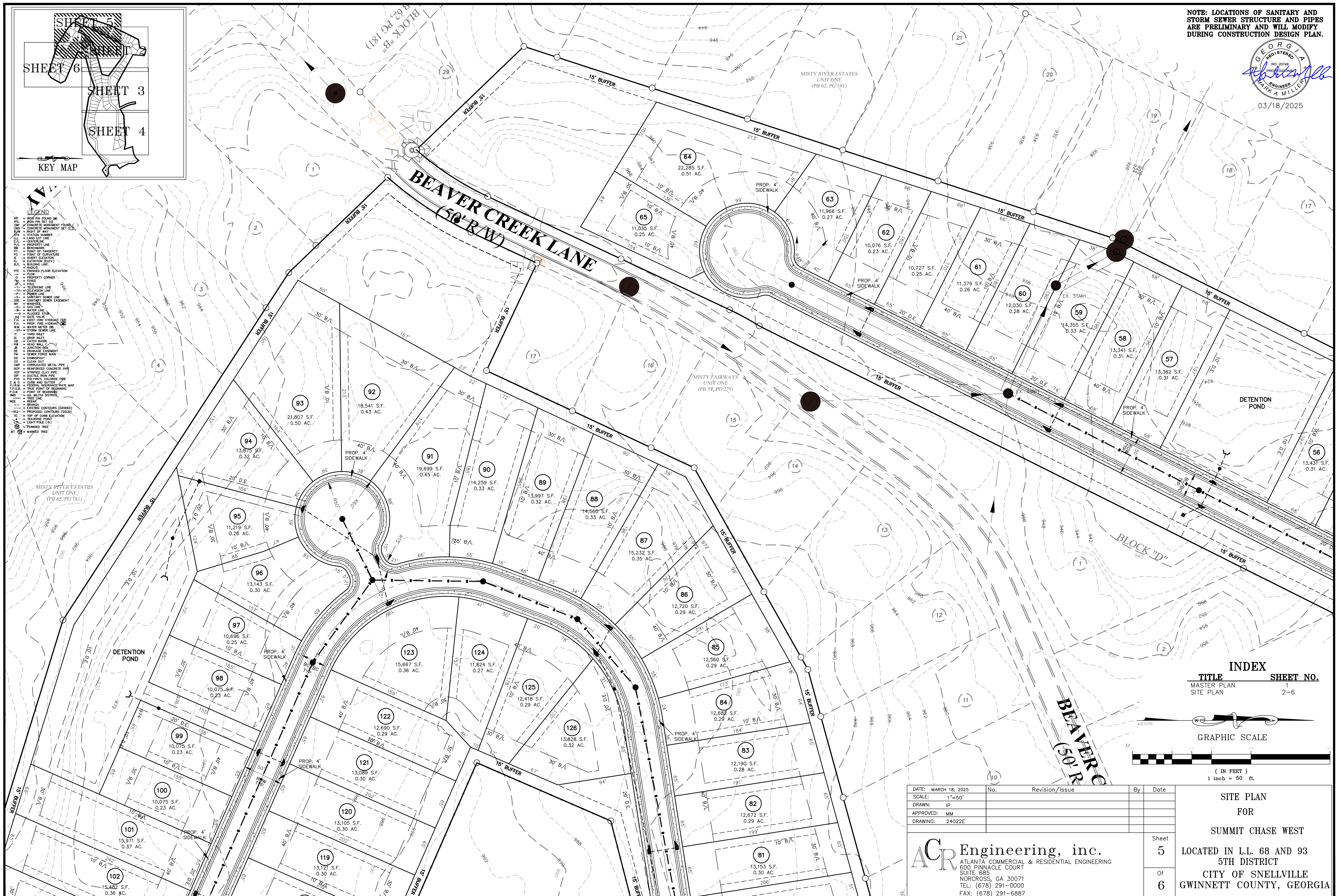
ACR Engineering, inc.
ATLANTA COMMERCIAL & RESIDENTIAL ENGINEERING
600 PINNACLE COURT
SUITE 685
NORCROSS, GA 30071
TEL: (678) 291-0000
FAX: (678) 291-6887

SITE PLAN
FOR
SUMMIT CHASE WEST
LOCATED IN L.L. 68 AND 93
5TH DISTRICT
CITY OF SNELLVILLE
GWINNETT COUNTY, GEORGIA

A key map of the study area in the western United States, showing the locations of the four sheets. Sheet 5 is in the northwest, Sheet 6 is to its west, Sheet 3 is to its east, and Sheet 4 is to the south of Sheet 3. The map includes a north arrow and a scale bar.

LEGEND

HP = IRON PIN FOUND (H)
IP = IRON PIN SET (I)
CMF = CONCRETE MONUMENT FOUND ()
CMF = CONCRETE MONUMENT SET (C)
R = RIGHT OF WAY
STA = STATION NUMBER
LUL = LAND LOT LINE
C = CONTINUED
BM = BENCHMARK
PT = POINT OF TANGENCY
PC = POINT OF CURVATURE
PE = POINT OF ELEVATION
ELEVATION (ELEV)
E = ELEVATION
R = RADIUS
FEE = FINISHED FLOOR ELEVATION
O = PROPERTY CORNER
F = FENCE
T = TELEPHONE LINE
TV = TELEVISION LINE
P = POWER
SE = SANITARY SEWER LINE
SE = SANITARY SEWER EXISTENT
M = MANHOLE
GAS = GAS LINE
W = WATER LINE
F = FLOODED STREET
D = DATE VALVE
FV = FRESH WATER HYDRANT
FV = FRESH WATER HYDRANT
W = WATER METER (H)
ST = STORM SEWER LINE
V = VADO INLET
DI = DRAIN INLET
CB = CATCH BASIN
J = JUNCTION
SE = SEWER EXISTENT
FM = SEWER FORCE MAIN
C = CLEAN OUT
CMP = COMPRESSED METAL PIPE
RCP = REINFORCED CONCRETE PIPE
R = RITINGED AS PIPE
DIP = DUCTILE IRON PIPE
PVC = POLYETHYLENE CHLORIDE PIPE
C = CUES AND GLITTER
ULFSA = FEDERAL RESISTANCE DATE MAP
P.O.B. = POINT OF BEGINNING
O.B. = POINT OF BEGINNING
M.D. = METAL DISTRICT
T = TREE LINE
BR = BRANCH
C = EXISTING CONTIGUOUS (BARRIED)
P-12 = PROPOSED CONTOUR (SOLID)
TC = TRAIL OF ELEVATION
T = TRAVERSE POINT
L = LOT PLAT OF
T = TOWNED TREE
M = MARKED TREE



DATE: MARCH 18, 2025	No.	Revision/Issue	By	Date
SCALE: 1"=50'				
DRAWN: JP				
APPROVED: MM				
DRAWING: 24022E				

ACR Engineering, inc.
ATLANTA COMMERCIAL & RESIDENTIAL ENGINEERING
600 PINNACLE COURT
SUITE 685
NORCROSS, GA 30071
TEL: (678) 291-0000
FAX: (678) 291-6887

Date	
Sheet	
5	<p style="text-align: center;">SITE PLAN</p> <p style="text-align: center;">FOR</p> <p style="text-align: center;">SUMMIT CHASE WEST</p> <p style="text-align: center;">LOCATED IN L.L. 68 AND 93</p> <p style="text-align: center;">5TH DISTRICT</p> <p style="text-align: center;">CITY OF SNELLVILLE</p> <p style="text-align: center;">GWINNETT COUNTY, GEORGIA</p>
Of	
6	

VICINITY MAP SCALE: 1"=2000'

INDEX

TITLE	SHEET NO.
MASTER PLAN	1
SITE PLAN	2-6

NOTE: LOCATIONS OF SANITARY AND STORM SEWER STRUCTURE AND PIPES ARE PRELIMINARY AND WILL MODIFY DURING CONSTRUCTION DESIGN PLAN.

LEGEND

IPF IRON PIN FOUND (●)
C CONCRETE CURB FOUND
CMF CONCRETE MANHOLE FOUND
R/W RIGHT OF WAY
STA STATION NUMBER
ULL LAND LOT LINE
C/L CENTERLINE
B BENCHMARK
PC POINT OF CURVATURE
C INVERT ELEVATION
E ELEVATION (FEET)
BLV BLIND LINE
R/R RAILROAD
FTE FINISHED FLOOR ELEVATION
H PROPERTY CORNER
+ FENCE
J POLE
T TELEPHONE LINE
+V VENT LINE
P POWER LINE
+S SLOPE
S+ SANITARY SEWER EASEMENT
IRU IRREGULAR
G GAS LINE
W WATER LINE
P PLUGGED STOP
D DATE VALUE
FAL FLOOD ALARM (C)
P+P PROP. FIRE HYDRANT (C)
+S+ STORM SEWER LINE
+V+ VANDL ITEM
DI DROP INLET
CB CATCH BASIN
HW HEAD WALL (—)
BJ JUNCTION BOX
C+ CONCRETE EASEMENT
F FENCE
M+ MENOR FORCE MAIN
C+ CLEAN OUT
C+ CONCRETE METAL PIPE
R+P REINFORCED CONCRETE PIPE
D+P DUCTILE IRON PIPE
D+P DUCTILE IRON PIPE
P+V+ POLYVINYL CHLORIDE PIPE
C+ G GUTTER
F+J+ FEDERAL INSURANCE RATE MAP
P+O+ POINT OF BEGINNING
R+V+ RAILROAD DISTRICT
R+H+ RESIDE
+B+ BRANCH
+D+ DISTRICT COUNCILS (DASHED)
+P+2+ PROPOSED CONDUITS (SOLID)
T+P+ TOP OF CURB ELEVATION
L+P+ LIGHT POLE (V)
P+L+ PLANTED TREE
M+ MARSHED TREE

SECONDS WE
MINUTES 24
DEGREES 27
NORTH 25 D
POINT; THE
SUBTENDED
AND A CHOR
A POINT; THE
FEET TO A P
SUBTENDED
AND A CHOR
A POINT; THE
FEET TO A P
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A POINT; THE
FEET TO A P
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SECONDS EAST
MINUTES 44
DEGREES 28
NORTH 25 D
POINT; THE
BY A CHORD
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THENCE NORTH
A POINT; THE
FEET TO A P
FEET SUBTEND
EAST AND A
FEET TO A P
OF 685.0 FE
261.48 FEET
23.25 DEGREES EAST
166.92 FEET
DISTANCE OF
SECONDS WE
MINUTES 15
DEGREES 29
OF BEGINNING

SAY, TRACT

PROPERTY ADDRESS

3197 CLASSIC DRIVE
SNELLVILLE, GA 30078
PARCEL# 5093 106

OWNER/DEVELOPER

MGSMG LAND LLC
3440 LASSITER FALLS DR NE
MARIETTA, GA 30062

(678) 227-8952
CONTACT: KAMRAN JALALI
EMAIL: kamran@luxuryhomes.com

ENGINEER

ENGINEER
ACR ENGINEERING, INC.

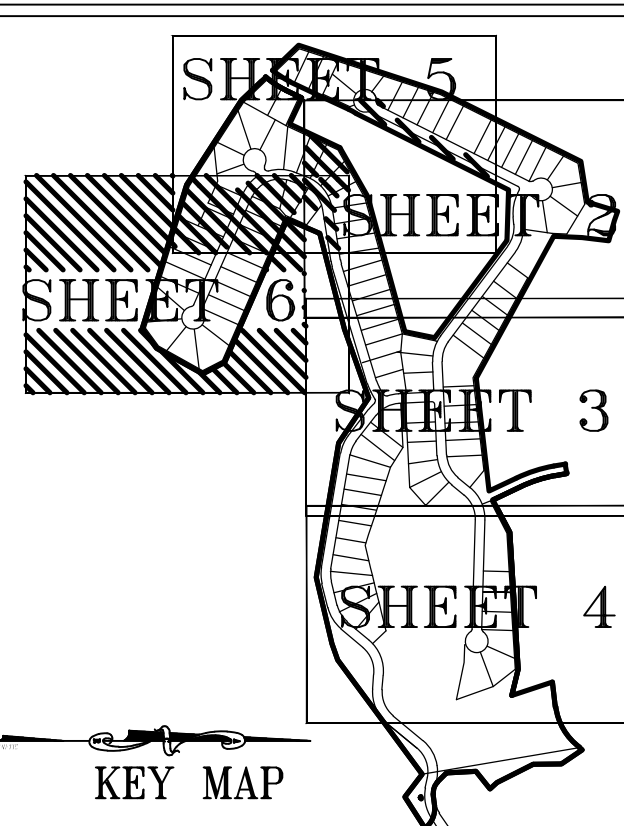
600 PINNACLE COURT, SUITE 685

NORCROSS, GEORGIA 30071
(404) 991-0000

(678) 291-0000
CONTACT: ABBAS HEIDARI

CONTACT: ABBAS HEIDARI
EMAIL: ABBAS@ACRENGINEERS.COM

EMAIL: ADDAS@ACRENGINEERS.COM

[illegible]

TRACT DESCRIPTION FOR SUMMIT CHASE WEST

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOTS 66 & 93 OF THE 5th DISTRICT, CITY OF SNELLVILLE, GWINNETT COUNTY, GEORGIA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

[illegible]

SAID TRACT OR PARCEL OF LAND CONTAINS 4,155,027 SQUARE FEET, BEING 95.386 ACRES.

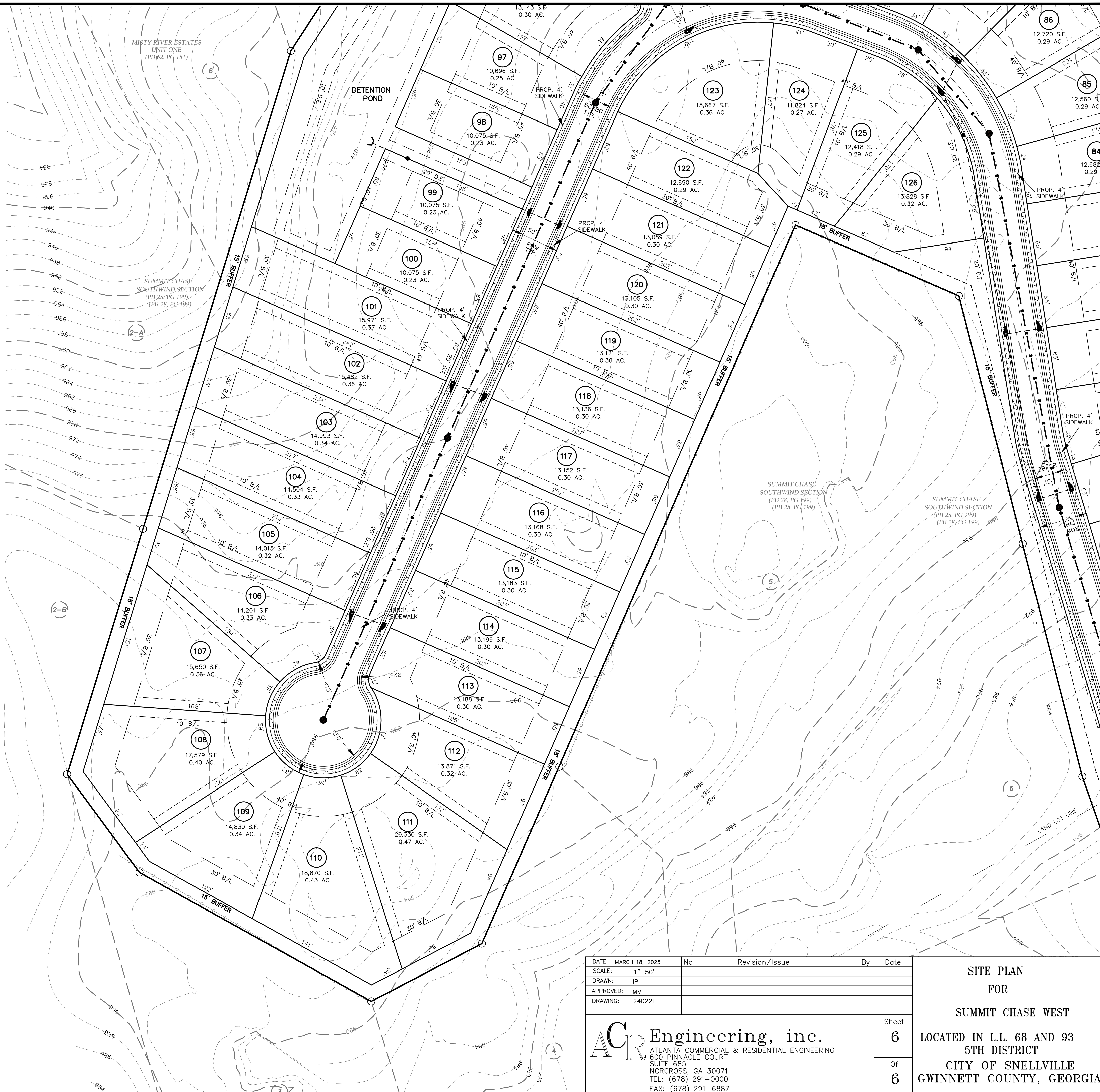
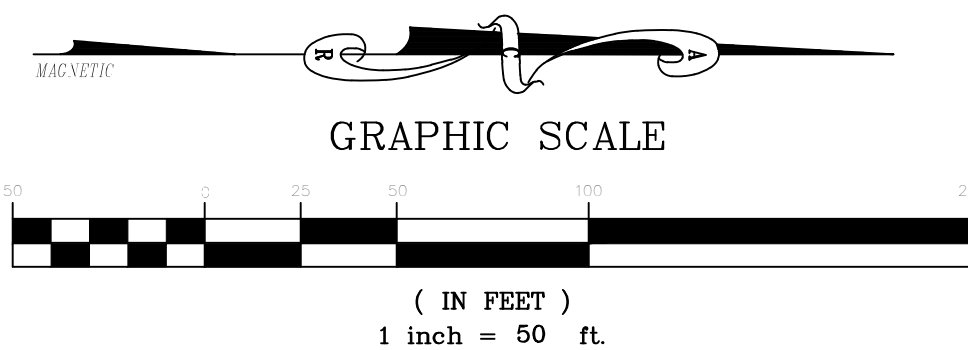


03/18/2025

SITE SUMMARY:

PROPOSED LAND USE: RESIDENTIAL SUBDIVISION

TOTAL SITE AREA	95.386 AC.
EXISTING ZONING	RS-30
PROPOSED ZONING	RS-5
FLOOD PLAIN AREA:	0.0 AC.
REQUIRED OPEN SPACE:	19.08 AC. (20.0%)
PROVIDED OPEN SPACE:	29.1 AC. (30.0%)
TOTAL NUMBER OF LOTS:	126 LOTS
PROPOSED DENSITY:	1.32 LOTS/AC.
MINIMUM LOT SIZE:	10,000 S.F.
MINIMUM HEATED AREA:	2,400 S.F. (2 CAR GARAGE MIN.)
MINIMUM LOT WIDTH:	65 FT
MAXIMUM LOT COVERAGE:	45%
MAXIMUM BUILDING HEIGHT:	35 FT
SETBACKS:	
FRONT YARD = 40 FEET	
SIDE YARD = 10 FEET (STREET 25')	
REAR YARD = 30 FEET	
REQUIRED RECREATIONAL AREA:	6% (5.72 AC.)
PROVIDED RECREATIONAL AREA:	12% (11.8 AC.)



DATE: MARCH 18, 2025	No.	Revision/Issue	By	Date
SCALE: 1"=50'				
DRAWN: IP				
APPROVED: MM				
DRAWING: 24022E				

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600 PINNACLE COURT
SUITE 685
NORCROSS, GA 30071
TEL: (678) 291-0000
FAX: (678) 291-6887

Date	
Sheet	
6	<p style="text-align: center;">SITE PLAN</p> <p style="text-align: center;">FOR</p> <p style="text-align: center;">SUMMIT CHASE WEST</p>
Of	
6	<p style="text-align: center;">LOCATED IN L.L. 68 AND 93</p> <p style="text-align: center;">5TH DISTRICT</p> <p style="text-align: center;">CITY OF SNELLVILLE</p> <p style="text-align: center;">GWINNETT COUNTY, GEORGIA</p>

STATE OF GEORGIA

CITY OF SNELLVILLE

ORDINANCE 2025-09

AN ORDINANCE TO GRANT THE APPLICATION TO AMEND THE SNELLVILLE 2045 FUTURE LAND USE MAP FROM PARK/RECREATIONAL TO RESIDENTIAL –LOW DENSITY ON A 95.386± ACRE VACANT, UNUSED GOLF COURSE AND COUNTRY CLUB SITE SITUATED ALONG GREEN TURF DRIVE AND CLASSIC DRIVE, 3197 CLASSIC DRIVE, SNELLVILLE, GEORGIA (TAX PARCEL 5093 106).

CASE NUMBER: # LUP 24-02

APPLICANT/PROPERTY OWNER: KJ Luxury Homes, LLC (applicant) and Summit Chase Country Club, Inc. (property owner)

LOCATION: Along Green Turf Drive and Classic Drive, 3197 Classic Drive, Snellville, Georgia

TAX PARCEL: R5093 106

DEVELOPMENT/PROJECT: Summitt Chase Property

WHEREAS, the governing authority of the City of Snellville, Georgia is the Mayor and Council thereof; and

WHEREAS, a public hearing was held before the Mayor and Council on March 24, 2025, where Mayor and Council tabled the final vote until the April 28, 2025 meeting.

WHEREAS, the health, safety, and welfare of the citizens of Snellville, Georgia, will be positively impacted by the adoption of this Ordinance; therefore:

IT IS HEREBY ORDAINED BY THE GOVERNING AUTHORITY OF THE CITY OF SNELLVILLE, GEORGIA, and by the authority thereof:

Section 1. For reasons stated in the public hearing, the council hereby grants the application to amend the Snellville 2045 Future Land Use Map for Tax Parcel 5093 106 from Park/ Recreational to Residential Low Density.

Section 2. The preamble of this Ordinance shall be considered to be and is hereby incorporated by reference as if fully set forth herein.

Section 3. The changes in zoning classification is to be noted on the Official Zoning Map of the City of Snellville, Georgia as approved by the Mayor and Council as soon as reasonably possible following the adoption of this Ordinance. The Official Zoning Map of the City of Snellville, Georgia, shall also be amended with an editorial note specifying the date these Snellville zoning amendments were approved by the Mayor and Council and specifying the parcels affected by this Ordinance. Until the changes are indicated on the Official Zoning Map of the City of Snellville, Georgia, as approved by the Mayor and Council, this Ordinance shall govern over Official Zoning Map of the City of Snellville, Georgia approved by the Mayor and Council to the extent of any discrepancy between this Ordinance and the Official Zoning Map of the City of Snellville, Georgia approved by the Mayor and Council.

Section 4. (a) It is hereby declared to be the intention of the Mayor and Council that all sections, paragraphs, sentences, clauses and phrases of this Ordinance are or were, upon their enactment, believed by the Mayor and Council to be fully valid, enforceable and constitutional.

(b) It is hereby declared to be the intention of the Mayor and Council that, to the greatest extent allowed by law, each and every section, paragraph, sentence, clause or phrase of this Ordinance is severable from every other section, paragraph, sentence, clause

or phrase of this Ordinance. It is hereby further declared to be the intention of the Mayor and Council that, to the greatest extent allowed by law, no section, paragraph, sentence, clause or phrase of this Ordinance is mutually dependent upon any other section, paragraph, sentence, clause or phrase of this Ordinance.

(c) In the event that any phrase, clause, sentence, paragraph or section of this Ordinance shall, for any reason whatsoever, be declared invalid, unconstitutional or otherwise unenforceable by the valid judgment or decree of any court of competent jurisdiction, it is the express intent of the Mayor and Council that such invalidity, unconstitutionality or unenforceability shall, to the greatest extent allowed by law, not render invalid, unconstitutional or otherwise unenforceable any of the remaining phrases, clauses, sentences, paragraphs or sections of the Ordinance and that, to the greatest extent allowed by law, all remaining phrases, clauses, sentences, paragraphs and sections of the Ordinance shall remain valid, constitutional, enforceable, and of full force and effect.

Section 5. All ordinances and parts of ordinances in conflict herewith are hereby expressly repealed.

Section 6. This Ordinance was adopted on _____, 2025. The effective date of this Ordinance shall be the date of adoption unless otherwise stated herein.

[SIGNATURES BEGIN ON THE FOLLOWING PAGE]

ORDAINED this ____ day of _____, 2025.

Barbara Bender, Mayor

ATTEST:

Tod Warner, Mayor Pro Tem

Melisa Arnold, City Clerk

Cristy Lenski, Council Member

APPROVED AS TO FORM:

Gretchen Schulz, Council Member

John J. Crowley, City Attorney
Powell & Crowley, LLP

Kerry Hetherington, Council Member

Norman Carter, Council Member

STATE OF GEORGIA

CITY OF SNELLVILLE

ORDINANCE 2025-10

AN ORDINANCE TO GRANT THE APPLICATION AMEND THE OFFICIAL ZONING MAP FROM RS-30 (SINGLE-FAMILY RESIDENTIAL) DISTRICT TO RS-5 (SINGLE-FAMILY RESIDENTIAL) DISTRICT FOR A 126-LOT SINGLE-FAMILY (DETACHED) SUBDIVISION AND 26.50± ACRES OF OPEN SPACE INCLUDING COUNTRY CLUB STYLE TENNIS COURTS, SWIMMING POOL, CLUBHOUSE AND OTHER AMENITIES FOR RESIDENTS TO ENJOY ON A 95.386± ACRE VACANT, UNUSED GOLF COURSE AND COUNTRY CLUB SITE WITH A GROSS DENSITY OF 1.57 LOTS PER ACRE, SITUATED ALONG GREEN TURF DRIVE AND CLASSIC DRIVE, 3197 CLASSIC DRIVE, SNELLVILLE, GEORGIA (TAX PARCEL 5093 106).

CASE NUMBER: #RZ 24-04

APPLICANT/PROPERTY OWNER: KJ Luxury Homes, LLC (applicant) and Summit Chase Country Club, Inc. (property owner)

LOCATION: Along Green Turf Drive and Classic Drive, 3197 Classic Drive, Snellville, Georgia

TAX PARCEL: R5093 106

DEVELOPMENT/PROJECT: Summitt Chase Property

WHEREAS, the governing authority of the City of Snellville, Georgia is the Mayor and Council thereof; and

WHEREAS, a public hearing was held before the Mayor and Council on March 24, 2025, where Mayor and Council tabled the final vote until the April 28, 2025 meeting.

WHEREAS, the health, safety, and welfare of the citizens of Snellville, Georgia, will be positively impacted by the adoption of this Ordinance; therefore:

**IT IS HEREBY ORDAINED BY THE GOVERNING AUTHORITY OF THE
CITY OF SNELLVILLE, GEORGIA, and by the authority thereof:**

Section 1. For reasons stated in the public hearing, the council hereby grants the application to amend the Official Zoning Map for Tax Parcel 5093 106 from RS-30 to RS-5 with the following conditions:

1. The property shall be developed in accordance with the conceptual rezoning site plan entitled “Master Plan for Summit Chase West”, dated 3-18-2025, (stamped received March 20, 2025),) in Exhibit “A”, a copy of which is attached hereto and incorporated herein by reference, with modifications permitted to meet conditions of zoning or State, County, and City regulations. Substantial variation from the conceptual rezoning site plan, as determined by the Director of Planning and Development will require Mayor and Council approval.
2. Building setbacks are as follows: front yard = 40 ft.; Rear yard = 30 ft.; side (interior) yard = 10 ft.; and side (street) yard = 25 ft. Maximum lot coverage =45%.
3. All driveways shall be a minimum of twenty-two (22) feet in length, measured from the front of the garage door to the edge of the sidewalk closest to the dwelling, and shall be wide enough to accommodate the parallel parking of two vehicles.
4. Developer to provide an emergency access gate at the connection point to the Green Turf Drive cul-de-sac for the sole use by emergency first responders.
5. All blasting activities shall be in accordance with The Georgia Blasting Standards Act. Before blasting work begins, a blasting notification plan must be reviewed and approved by the Planning and Development Department. Said plan shall include signage, email notification, and any other notification deemed necessary.
6. Uses involving adult entertainment, including the sale or display of adult magazines, books, videos and as further defined by the Adult Entertainment Ordinance in effect on the date this condition is imposed, are prohibited.
7. Signs higher than 15 feet and larger than 225 sq. ft. in the area are prohibited.

Section 2. The preamble of this Ordinance shall be considered to be and is hereby incorporated by reference as if fully set forth herein.

Section 3. The changes in zoning classification is to be noted on the Official Zoning Map of the City of Snellville, Georgia as approved by the Mayor and Council as soon as reasonably possible following the adoption of this Ordinance. The Official Zoning Map of the City of Snellville, Georgia, shall also be amended with an editorial note specifying the date these Snellville zoning amendments were approved by the Mayor and

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(c) In the event that any phrase, clause, sentence, paragraph or section of this Ordinance shall, for any reason whatsoever, be declared invalid, unconstitutional or otherwise unenforceable by the valid judgment or decree of any court of competent jurisdiction, it is the express intent of the Mayor and Council that such invalidity, unconstitutionality or unenforceability shall, to the greatest extent allowed by law, not render invalid, unconstitutional or otherwise unenforceable any of the remaining phrases,

clauses, sentences, paragraphs or sections of the Ordinance and that, to the greatest extent allowed by law, all remaining phrases, clauses, sentences, paragraphs and sections of the Ordinance shall remain valid, constitutional, enforceable, and of full force and effect.

Section 5. All ordinances and parts of ordinances in conflict herewith are hereby expressly repealed.

Section 6. This Ordinance was adopted on _____, 2025. The effective date of this Ordinance shall be the date of adoption unless otherwise stated herein.

[SIGNATURES BEGIN ON THE FOLLOWING PAGE]

ORDAINED this ____ day of _____, 2025.

Barbara Bender, Mayor

ATTEST:

Tod Warner, Mayor Pro Tem

Melisa Arnold, City Clerk

Cristy Lenski, Council Member

APPROVED AS TO FORM:

Gretchen Schulz, Council Member

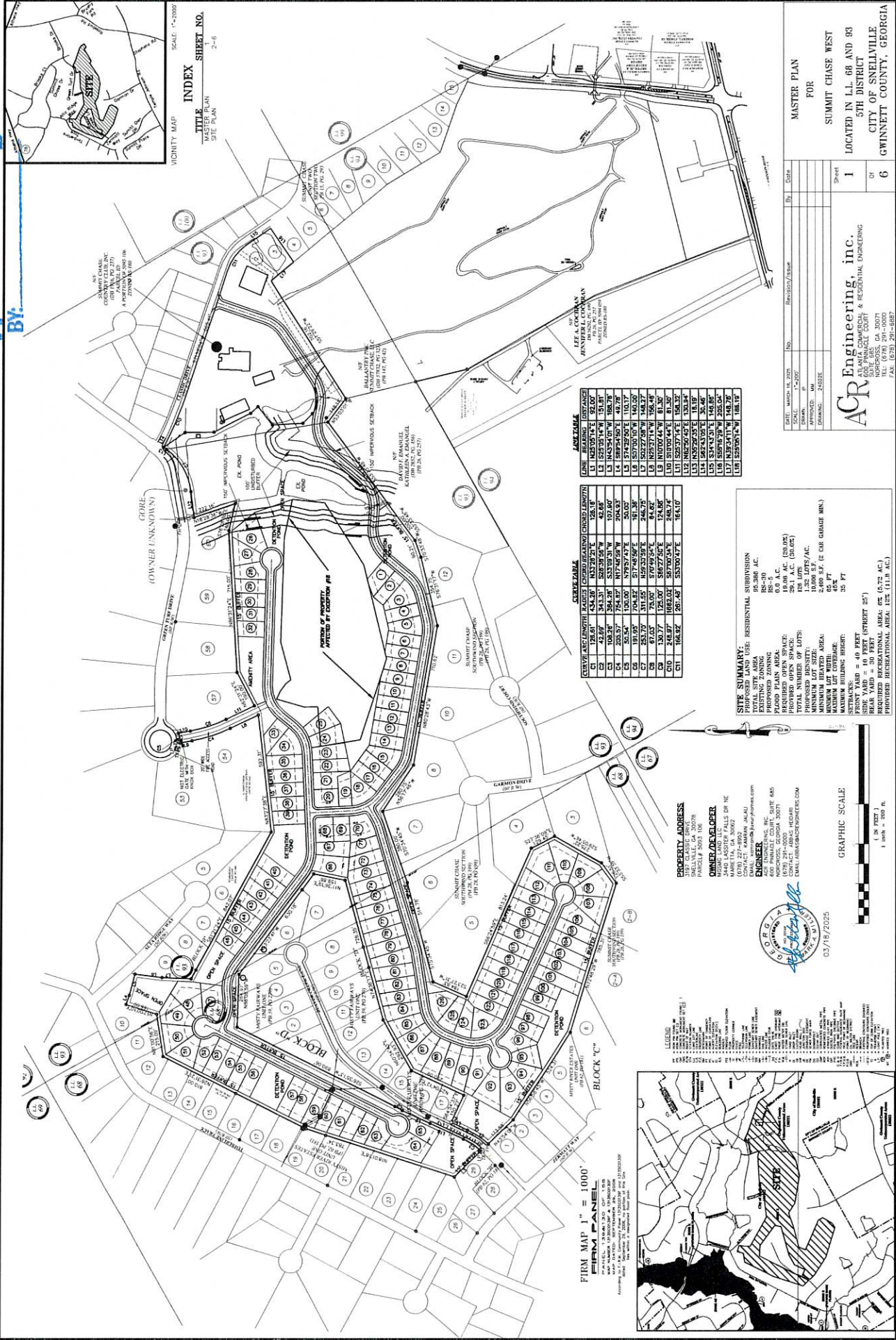
John J. Crowley, City Attorney
Powell & Crowley, LLP

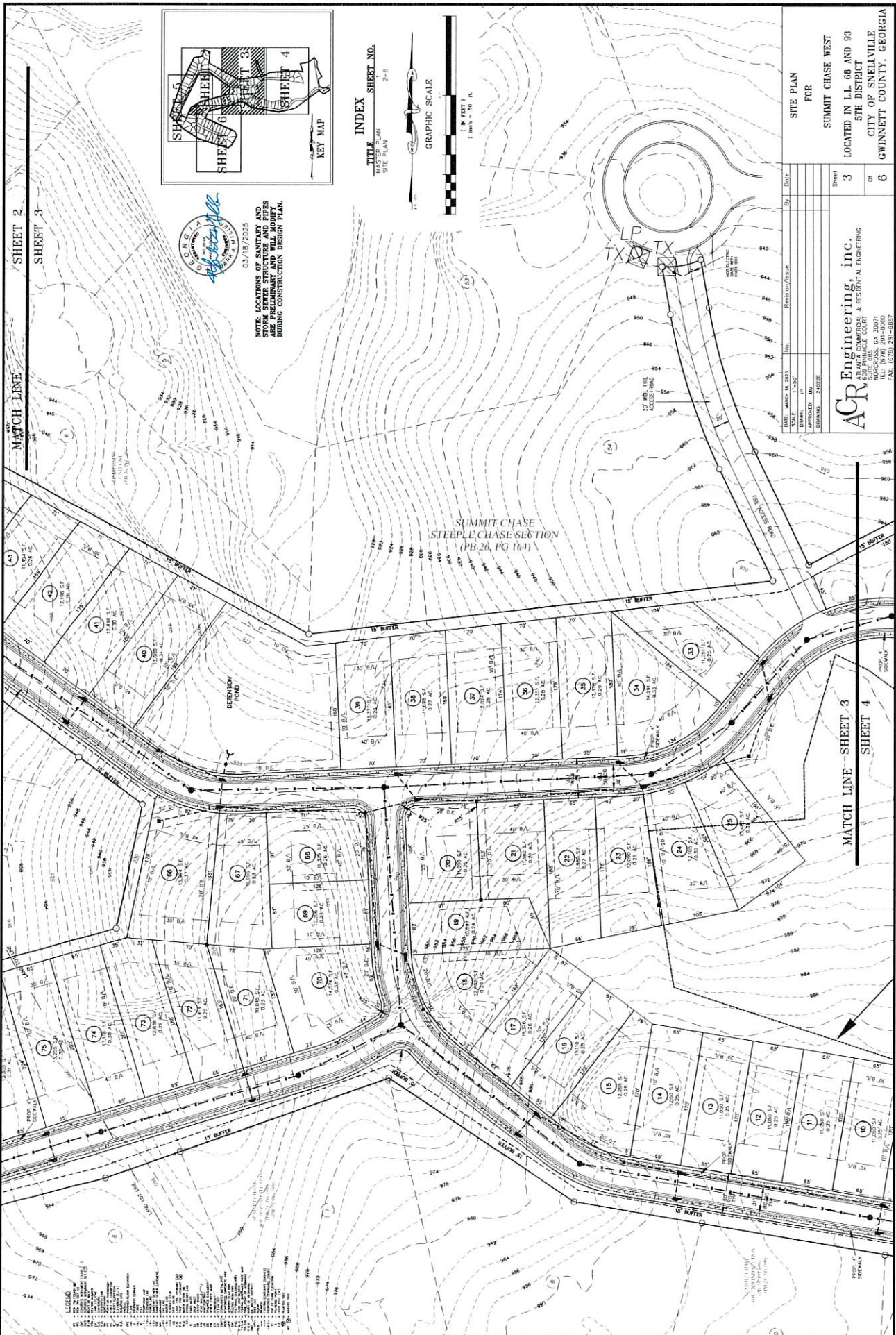
Kerry Hetherington, Council Member

Norman Carter, Council Member

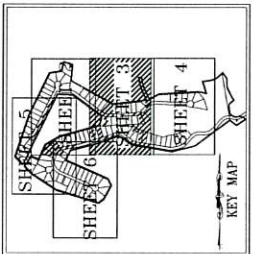
EXHIBIT “A”

RECEIVED
MAR 20 2025





MATCH LINE
SHEET 2
SHEET 3



NOTE: LOCATIONS OF SANITARY AND SEWER MAINS ARE PRELIMINARY AND WILL MODIFY DURING CONSTRUCTION DESIGN PLAN.

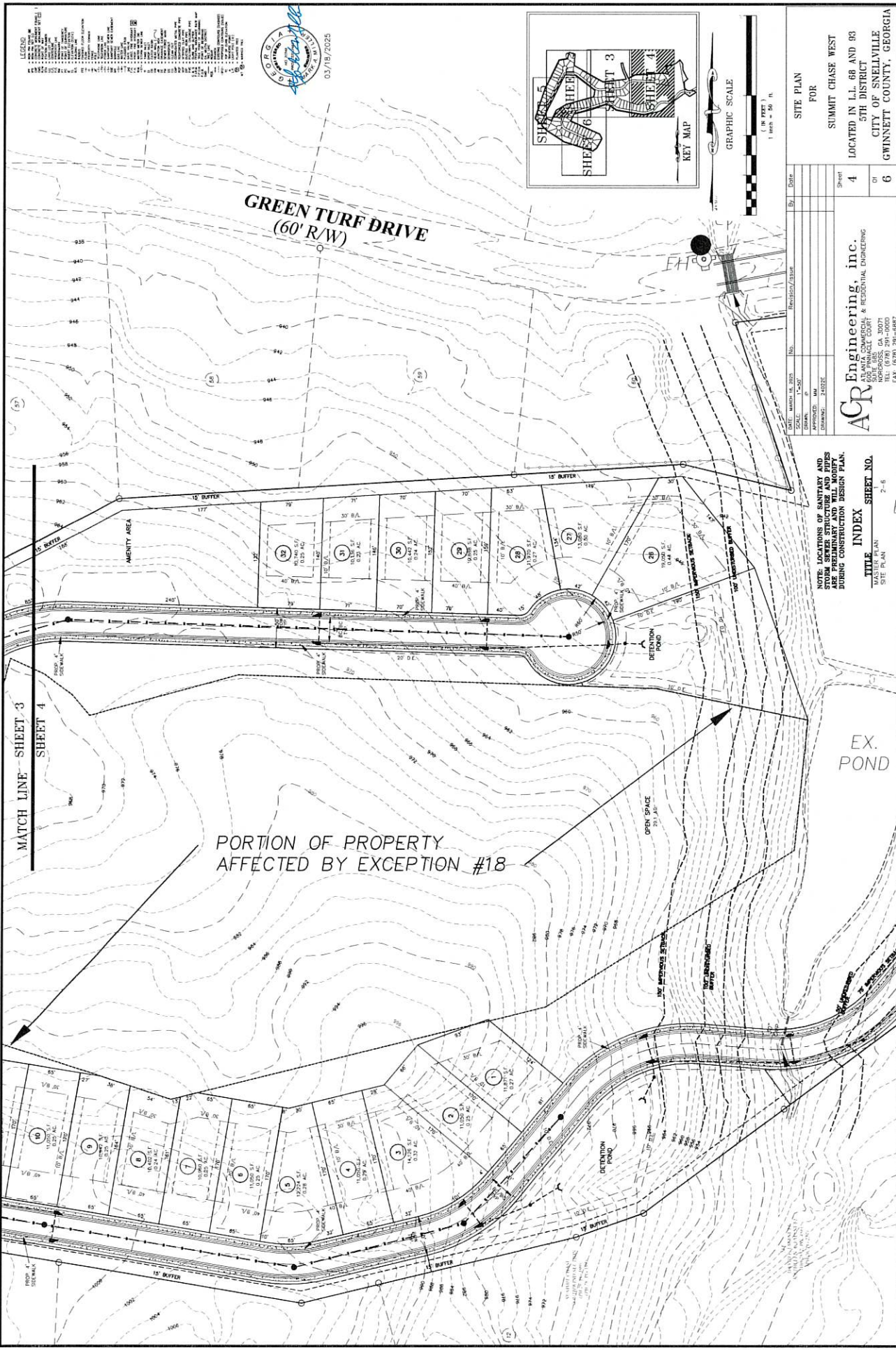
INDEX
SHEET NO.
2-6



SUMMIT CHASE
STEEPLE CHASE SECTION
(PB 26, PG 16-4)

MATCH LINE - SHEET 3
SHEET 4

SITE PLAN FOR		SUMMIT CHASE WEST	
LOCATED IN L.L. 68 AND 93		5TH DISTRICT	
CITY OF SNELLVILLE		WINNETT COUNTY, GEORGIA	
DATE: 03/18/2025	SCALE: 1"=50'	DESIGNED BY: [Signature]	Sheet 3
DRAWN BY: [Signature]	CHECKED BY: [Signature]	APPROVED BY: [Signature]	OF 6
ACR Engineering, Inc.		ALABAMA COMMERCIAL & RESIDENTIAL ENGINEERING	
1000 N. 10TH AVE., SUITE 200		TALLAHASSEE, FL 32301	
TEL: (904) 291-4000		FAX: (904) 291-4887	



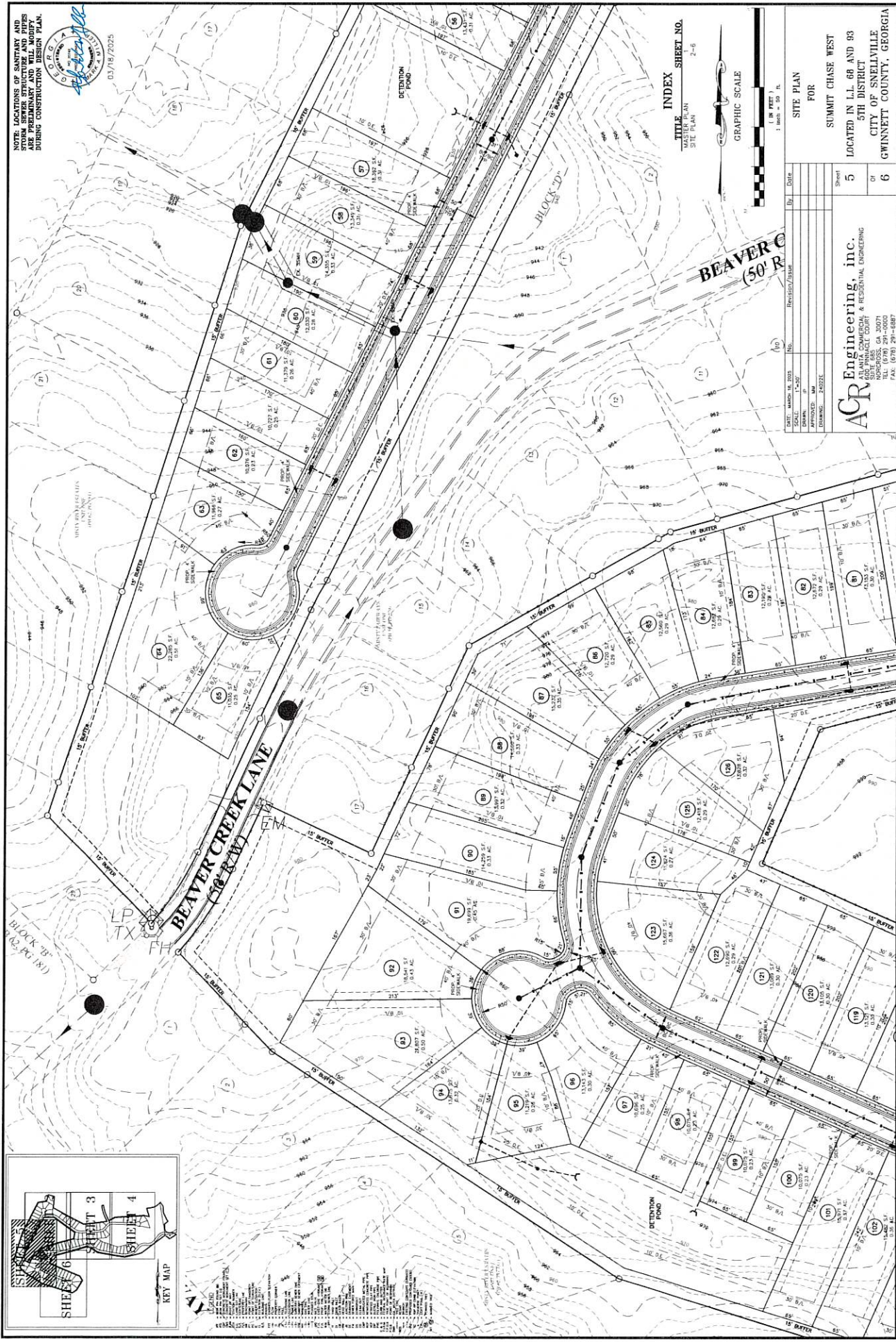
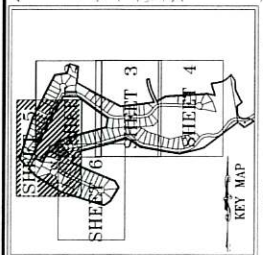
LEGEND

1" = 40'	1" = 200'
1" = 100'	1" = 100'
1" = 50'	1" = 50'
1" = 25'	1" = 25'
1" = 12.5'	1" = 12.5'
1" = 6.25'	1" = 6.25'
1" = 3.125'	1" = 3.125'
1" = 1.5625'	1" = 1.5625'
1" = 0.78125'	1" = 0.78125'
1" = 0.390625'	1" = 0.390625'
1" = 0.1953125'	1" = 0.1953125'
1" = 0.09765625'	1" = 0.09765625'
1" = 0.048828125'	1" = 0.048828125'
1" = 0.0244140625'	1" = 0.0244140625'
1" = 0.01220703125'	1" = 0.01220703125'
1" = 0.006103515625'	1" = 0.006103515625'
1" = 0.0030517578125'	1" = 0.0030517578125'
1" = 0.00152587890625'	1" = 0.00152587890625'
1" = 0.000762939453125'	1" = 0.000762939453125'
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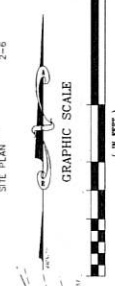
NOTE: LOCATIONS OF SANITARY AND STORM SEWER STRUCTURES AND PIPES ARE PRELIMINARY AND WILL MODIFY DURING CONSTRUCTION DESIGN PLAN.



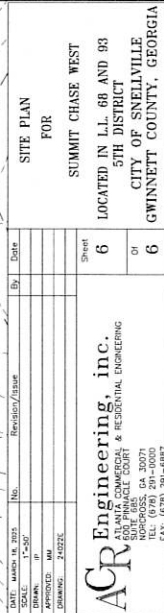
03/18/2025



INDEX
TITLE SHEET NO.
MASTER PLAN
SITE PLAN
2-6



SITE PLAN FOR	
SUMMIT CHASE WEST	
LOCATED IN LL 68 AND 93	
5TH DISTRICT	
CITY OF SNELLVILLE	
GWINNETT COUNTY, GEORGIA	
DATE: MARCH 18, 2025	BY: [Signature]
SCALE: 1"=50'	PROJECT: [Signature]
APPROVED: [Signature]	DESIGN: [Signature]
DRAWN: [Signature]	REVISIONS: [Signature]
ACR Engineering, inc. 600 WINDY HILL COURT & RESIDENTIAL ENGINEERING NORCROSS, GA 30071 TEL: (678) 291-0000 FAX: (678) 291-0587	
Sheet 5	6

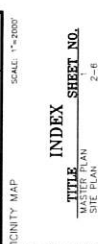




03/18/2025

PROVIDED RECREATIONAL AREA: 12% (11.0 AC.)

GRAPHIC SCALE

(IN FEET)
1 inch = 50 ft.

[illegible]

Agenda Item Summary



Date: April 28, 2025

Prepared by: Lt. J. McKinney - SPD

Agenda item:

Consideration and Action on Surplus of City Police Facilities Equipment

1. Stainless-Steel Cabinet with Drawers
2. Portable Stainless-Steel Cabinet with adjustable pegs.
3. Large Stainless-Steel Table
4. 5 Foot American Fume Hood w/ Flammable Storage Cabinet includes exhaust fan

Background:

These Items were installed by the builder in the Crime Scene Lab but are no longer needed.

Financial Impact:

There is no cost to list the items on GovDeals, the buyer pays the commission. There will be a small charge to have an electrician unhook that electrical fan.

Recommendation:

Approve the surplus of the equipment for disposal.

Action requested:

Motion and affirmative vote to approve the listed vehicles and equipment for surplus.

Attachments:

- None